

ADVERTISEMENT FOR BID
TIOGA COUNTY PROPERTY DEVELOPMENT CORPORATION
RENOVATIONS + RECONSTRUCTION
247 MAIN STREET | OWEGO, NY 13827

Sealed bids for Tioga County Property Development Corporation – Renovations + Reconstruction (247 Main Street | Owego, NY 13827), in accordance with the Bid Form, Contract Agreement, Site Visitation Requirements and Drawings will be received by the Tioga County Property Development Corporation, - until **2:00 p.m. local time, on Tuesday, July 14th, 2026** when they will be publicly opened and read, for the following project.

The project consists of a single prime contract (General Contractor) to perform the work. The scope of work for this 2-story residence includes: exterior and interior improvements, site work, selective demolition, mechanical, electrical and plumbing systems upgrades.

- Exterior improvements include: gutters, downspouts, siding, window replacement, chimney repair, roof, new rear porch with covered roof, front porch upgrades, side porch upgrades, and improvement of historic elements (ex. corbels).
- Interior improvements include: Structural reinforcements, insulation, gypsum wall board, 4-bedrooms with closets, living room, dining room, kitchen (including island and appliances), mudroom, sitting room, parlor, foyer, laundry room (2nd floor), two full bathrooms (2nd floor), half bathroom (1st floor), utility room (1st floor), pantry (1st floor) and restoration of historic elements (ex. stairs, pocket doors etc.).
- Interior finishes include: kitchen cabinets and countertops, half and full bath vanities and fixtures, flooring, new basement staircase/Bilco door access, trim, cased opening(s) and tape spackle, sand, prime and final paint (all walls and ceilings).
- HVAC, Electrical and Plumbing upgrades are also included.

Prevailing Wage: Davis Bacon Act Prevailing Wage Rates do not apply to this project.

Digital copy of the Contract Documents may be obtained from the Tioga County Property Development Corporation. Contact by Email or Phone:

- Sara Zubalsky-Peer, Executive Administrator
- Email: Zubalsky-peers@tiogacountyny.gov
- Phone: 607-687-8266
- Address: 56 Main Street, Owego NY 13827

General Contractors are encouraged to register for the pre-bid conference with the Tioga County Property Development Corporation. Bid security is not required. Pre-bid conferences will be conducted at the project site on **Tuesday, July 7th, 2026 at 9am** and on **Thursday July 9th, 2026 at 3pm**.

Refer to the bid package for various requirements including: insurance, M/WBE and EEO requirements, etc. The Tioga County Property Development Corporation reserves the right to reject any and all bids and to award contracts in the best interests of the Tioga County Property Development Corporation. The Tioga County Property Development is an Affirmative Action/Equal Opportunity Employer. Section 3 Residents, Section 3 Businesses, Minority Business Enterprises, Women Business Enterprises, Small Business enterprises, Service-Disabled Veteran Owned Businesses, and Labor Surplus Area Firms are encouraged to submit proposals.

TIOGA COUNTY PROPERTY DEVELOPMENT CORPORATION
247 MAIN STREET, OWEGO, NY 13827

PROPOSAL FORM

The undersigned, having carefully examined and read the instructions, conditions and specifications relative to supplying a proposal package to the Tioga County Property Development Corporation for a project located within the Village of Owego, and having signed and affirmed the Non-Collusive Certificate, hereby submits the following Lump Sum Proposal Price:

Property Owner: _____
Property Address(es): _____

The respondent, in compliance with the Request For Proposal, has carefully examined the proposal package including the Scope of Work, and being familiar with the various conditions affecting the work, agrees to provide General Contractor services, and all else necessary to complete the project Specifications in accordance with the intent of the Request For Proposal.

TOTAL PROPOSAL PRICE WITHOUT ALTERNATES:	\$ _____
TOTAL PRICE ALTERNATE 01:	\$ _____
TOTAL PRICE ALTERNATE 02:	\$ _____
TOTAL PROPOSAL PRICE WITH ALTERNATES:	\$ _____

COMPANY: _____

COMPANY ADDRESS: _____

COMPANY LOCATION/ZIP: _____

TELEPHONE NUMBER: _____

CELL PHONE NUMBER: _____

E-MAIL ADDRESS: _____

FAX NUMBER: _____

TIOGA COUNTY PROPERTY DEVELOPMENT CORPORATION
247 MAIN STREET, OWEGO, NY 13827

PROPOSAL FORM

CONTACT PERSON: _____

POSITION IN COMPANY: _____

DATED: _____

In submitting the proposal, it is understood that the unrestricted right is reserved by the Tioga County Property Development Corporation and Property Owner to reject any and all proposals, or to waive any informalities or technicalities in said proposal, and it is agreed that this proposal may not be withdrawn for a period of forty-five (45) days from opening thereof.

The undersigned hereby certifies that this proposal is genuine, and not sham or collusive, or made in the interest of or in behalf of any person, firm or corporation not herein named, that the undersigned has not directly or indirectly induced or solicited any Respondents to refrain from submitting a proposal, and that the undersigned has not in any manner, sought by collusion to secure for himself over other Respondents.

We acknowledge any noted following Addendum(s):

Addendum _____ Dated: _____

Addendum _____ Dated: _____

Addendum _____ Dated: _____

The date of this proposal is _____, 2026

TIOGA COUNTY PROPERTY DEVELOPMENT CORPORATION
247 MAIN STREET, OWEGO, NY 13827

PROPOSAL FORM

SIGNATURES:

When the respondent is an individual:

_____	_____ (seal)
Witness	Respondent

When the respondent is a partnership:

_____	_____ (seal)
Witness	_____ (seal)
	_____ (seal)

When the respondent is a Corporation:

By:
President _____

Attest:
Secretary: _____

(Corporate Seal)

SIGNATURE OF RESPONDENT: _____
(Signature and Title)

NON-COLLUSIVE BIDDING CERTIFICATION

Special Note:

BIDDER MUST RETURN THIS FORM WITH THE PROPOSAL FORM

TO THE TIOGA COUNTY PROPERTY DEVELOPMENT CORPORATION:

In accordance with Section 103D of the New York State General Municipal Law, the Undersigned declares that, in submitting this Proposal, he/she is or they are the only person(s) interested in said Proposal that it is made without any connection with any person making another Proposal for the same Contract; that the Proposal is, in all respects, fair and without Collusion, Fraud or Mental Reservation; and that no officials of the Tioga County Property Development Corp. or any person in the employ of the Tioga County Property Development Corp., is directly or indirectly interested in said Proposal or in the Supplies, Materials, Equipment or Work to which it relates, or in any portion of the profits thereof.

NON-COLLUSIVE BIDDING CERTIFICATION: (Section 103d, as amended)

1. By submission of this Proposal, each Bidder and each Person signing on behalf of any Bidder certifies, and in the case of a Joint Proposal, each Party thereto, certifies as to its own organization, under penalty of perjury, that, to the best knowledge and belief:
 - A. The prices in this Proposal have been arrived at independently, without collusion, consultation, communication or agreement, for the purpose of restricting competition, as to any matter relating to such prices, with any other Bidder or with any Competitor.
 - B. Unless otherwise required by law, the prices which have been quoted in this Proposal, have not been knowingly disclosed by the Bidder and will not knowingly be disclosed, by the Bidder prior to Proposal Opening, either directly or indirectly, to any Bidder or to any Competitor.
 - C. No attempt has been made or will be made, by the Bidder, to induce any other person, partnership or corporation to submit or not submit a Proposal, with the purpose or restricting competition.

NAME OF BIDDER

SIGNATURE OF SIGNER

TITLE

NOTE:

A Proposal shall not be considered for award nor shall any award be made where: Paragraph 1, Subparagraphs A, B and C above, have not been complied with, providing however, that, if in any case, the Bidder cannot make the foregoing certification, the Bidder shall so state and shall furnish, with the Proposal, a signed statement which sets forth, in detail, the reason therefore.

Where Paragraph 1, Subparagraphs A, B and C above, have not been complied with, the Proposal shall not be considered for award nor shall any award to made, unless, the Head of the Purchasing Unit of the political subdivision, public department, agency or official thereof, to which the Proposal is made, or his/her designee, determines that such disclosure was not made for the purpose of restricting competition.

The fact that a Bidder has published price lists, rates or tariffs covering items being procured; informed prospective customers of proposed or pending publications of new or revised price lists for such items or has sold the same items to other customers at the same prices as being Proposed; does not constitute, without more, a disclosure within the meaning of paragraph 1, subparagraphs A, B & C.

NON-COLLUSIVE AFFIDAVIT

STATE OF NEW YORK _____)

)ss.

COUNTY OF _____)

being first duly sworn, deposes and says that:

- A. He/She is owner, partner, officer, representative or agent of:

the Bidder that has submitted the attached Quotation.

- B. He/She is fully informed respecting the preparation and contents of the attached Quotation and of all pertinent circumstances respecting such Quotation;
- C. Such quotation is genuine and is not a collusive or sham Quotation;
- D. Neither the said Bidder nor any of its officers, partners, owners, agents, representatives, employees or parties in interest, including this Affiant, has in any way colluded, conspired, connived, agreed, directly or indirectly, with any other Bidder, firm or person, to submit a collusive or sham Proposal, in connection with such Contract, or has in any manner, directly or indirectly, sought by agreement or collusion or communication or conference with any other Bidder, firm or person to fix the price or prices in the attached Quotation or that of any other Bidder, or to fix any overhead, profit or cost element of the quote price or the quoted price of any other Bidder or to secure, through any collusion, conspiracy, connivance or unlawful agreement, any advantage against the Local Public Agency or any person interested in the proposed Contract, and;
- E. The price or prices quoted in the attached Proposal are fair and proper and are not tainted by collusion, conspiracy, connivance or unlawful agreement on the part of the Bidder or any of its agents, representatives, owners, employees or parties in interest, including this Affiant.

(Signed): _____

Subscribed and sworn to before me

this ____ day of _____ 20

My Commission expires:

CERTIFICATION OF NON-SEGREGATED FACILITIES

By the submission of this bid, the bidder, offeror, or subcontractor certifies that they do not maintain or provide for their employees any segregated facilities at any of their establishments, and that they do not permit their employees to perform their services at any location, under their control, where segregated facilities are maintained. They certify further that they will not maintain or provide for their employees any segregated facilities at any of their establishments, and that they will not permit their employees to perform their services at any location, under their control, where segregated facilities are maintained. The bidder, offeror, applicant or subcontractor agrees that a breach of this certification is a violation of the Equal Opportunity Clause in this contract. As used in this certification, the term "segregated facilities" means any waiting rooms, work areas, rest rooms, restaurants, and other eating area, time clocks, locker rooms and other storage or dressing areas, parking lots, drinking fountains, recreation or entertainment areas, transportation and housing facilities provided for employees which are segregated by explicit directive or are, in fact, segregated on the basis of race, creed, color, or national origin, because of habit, local custom, or otherwise. They further agree that (except where they have obtained identical certifications from proposed subcontractors for specific time periods) they will obtain identical certifications from proposed subcontractors prior to the award of subcontracts exceeding \$10,000.00; that they will retain such certifications in their files; and that they will forward the following notice to such proposed subcontractors (except where the proposed subcontractors have submitted identical certifications for specific time periods):

NOTE: The penalty for making false statement in offers is prescribed in 18 U.S.C. 1001.

Name and Title of Signer
(printed)

(signature)

(date)

TCPDC General Liability Insurance Requirements for Contractors

- a. Commercial General Liability insurance (including contractual and contractor's protective liability coverage) with combined single limits of \$1,000,000 per occurrence/per location, and \$2,000,000 in the aggregate for bodily injury and property damage; Aggregate limit must be per project.

Proof of additional insured coverage shall be evidenced through a carrier issued endorsement (ISO CG20 10 11 85 or equivalent)

- b. Automobile Liability coverage including owned and hired vehicles with a combined single limit of \$1,000,000 per occurrence for bodily injury and property damage;
- c. Worker's Compensation and Employer's Liability insurance in compliance with all applicable New York State laws and regulations and Disability Benefits, if required by law.
- d. Professional Liability insurance in an amount not less than One Million Dollars (\$1,000,000) on either a per-occurrence of claims—made coverage basis.

Proof of additional insured coverage shall be evidence through a carrier issued endorsement.

Certificates must list the Tioga County Property Development Corporation, Housing Trust Fund Corporation, and The State of New York as additional insured with Waiver of Subrogation included. Location of the property(ies) must be listed on the description of certificate.

1. The certificate face shall:

- Indicate coverage(s) other than Workers' Compensation & Disability) and minimum amounts required
- Provide that the coverage(s) shall not be cancelled, terminated or materially changed (including an insurance limits reduction) unless thirty (30) days prior written notice has been given to the TCPDC
- Disclose all policy exclusions
- Disclose the amount of self-insured retention or deductibles; deductible must not exceed \$10,000
- Show Products & completed operation
- Certificate must be signed by an authorized representative of the insurance carrier

2. Proof of Worker's Compensation Coverage must be provided on WCB form C-105.2

3. Proof of NYS Disability Coverage must be provided on WCB form DB-120.1 Or DB-820

**EQUAL EMPLOYMENT OPPORTUNITY POLICY STATEMENT & M/WBE PARTICIPATION
TIOGA COUNTY PROPERTY DEVELOPMENT CORPORATION**

EQUAL EMPLOYMENT OPPORTUNITY (EEO)

It is the policy of _____ (name of organization) to provide equal employment opportunity to all people without regard to race, color, sex, religion, age, national origin, disability, sexual preference, or veteran status. This organization will undertake and/or continue existing programs of affirmative action to ensure that minority group members are afforded equal employment opportunities without discrimination, and shall make and document its conscientious and active efforts to employ and utilize minority group members and women in its work force. These programs will be in accordance with all relevant Federal and State non-discrimination laws and regulations.

This organization shall state in all solicitation and advertisements for employees that all qualified applicants will be afforded equal employment opportunities without discrimination. In addition, this organization shall request of any employment agency, labor union, or other authorized representative used to solicit employees that they will not discriminate on the basis of race, color, sex, religion, age, national origin, disability, sexual preference, or veteran status, AND that such union or representative will affirmatively cooperate in the implementation of this organization's obligations herein.

Finally, this organization agrees to include these same EEO provisions in every subcontract in such a manner that the requirements will be binding upon the subcontractor doing work in connection with this contract.

M/WBE PARTICIPATION

This organization shall take good faith actions to achieve M/WBE participation in this contract by taking and documenting the following steps:

1. Actively and affirmatively solicit bids and/or quotes for subcontracts (and/or supplies) from qualified State certified MBEs or WBEs, including solicitations from M/WBE contractor associations.

Documentation shall include:

- a. Copies of solicitations to M/WBE firms and copies of any responses.
 - b. Copies of any advertisements placed for participation of M/WBEs (including dates of advertisements and publications)
2. Ensure that documents used to secure bids and/or quotes are made available in sufficient time for review by prospective M/WBE's.

3. If responses to the organization's solicitations were received, but a certified M/WBE was not selected, provide specific reasons that such enterprise was not selected.
4. Contractor will also ask for and maintain records of any actions that subcontractors have taken to achieve M/WBE participation.

This organization agrees to provide copies of said documentation illustrating good faith efforts upon award of contract.

Agreed on this _____ day of _____, 20_____

By: _____
(Signature)

Print Name: _____

Title: _____

Renovations + Reconstruction

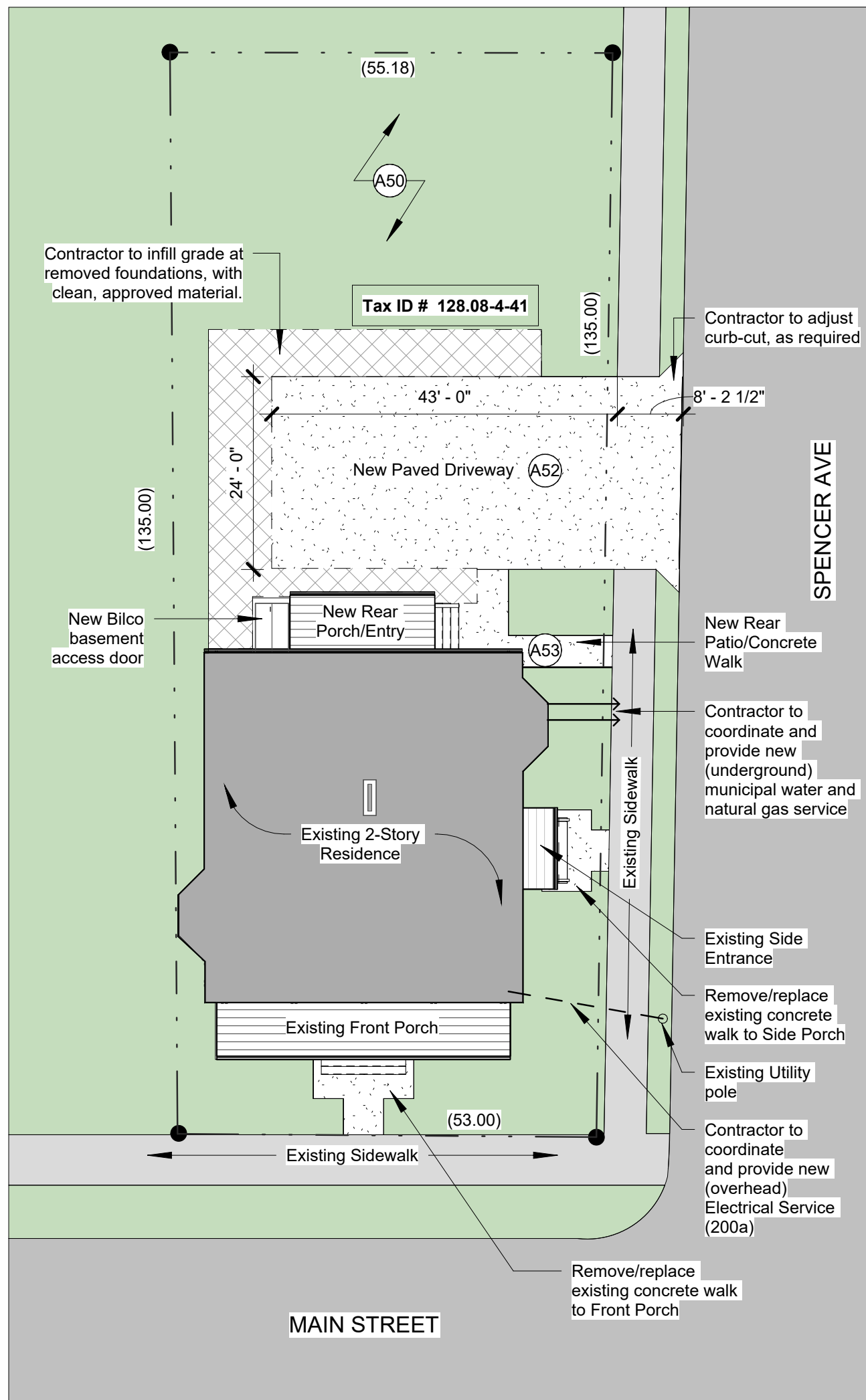
247 Main Street
Owego, NY 13827



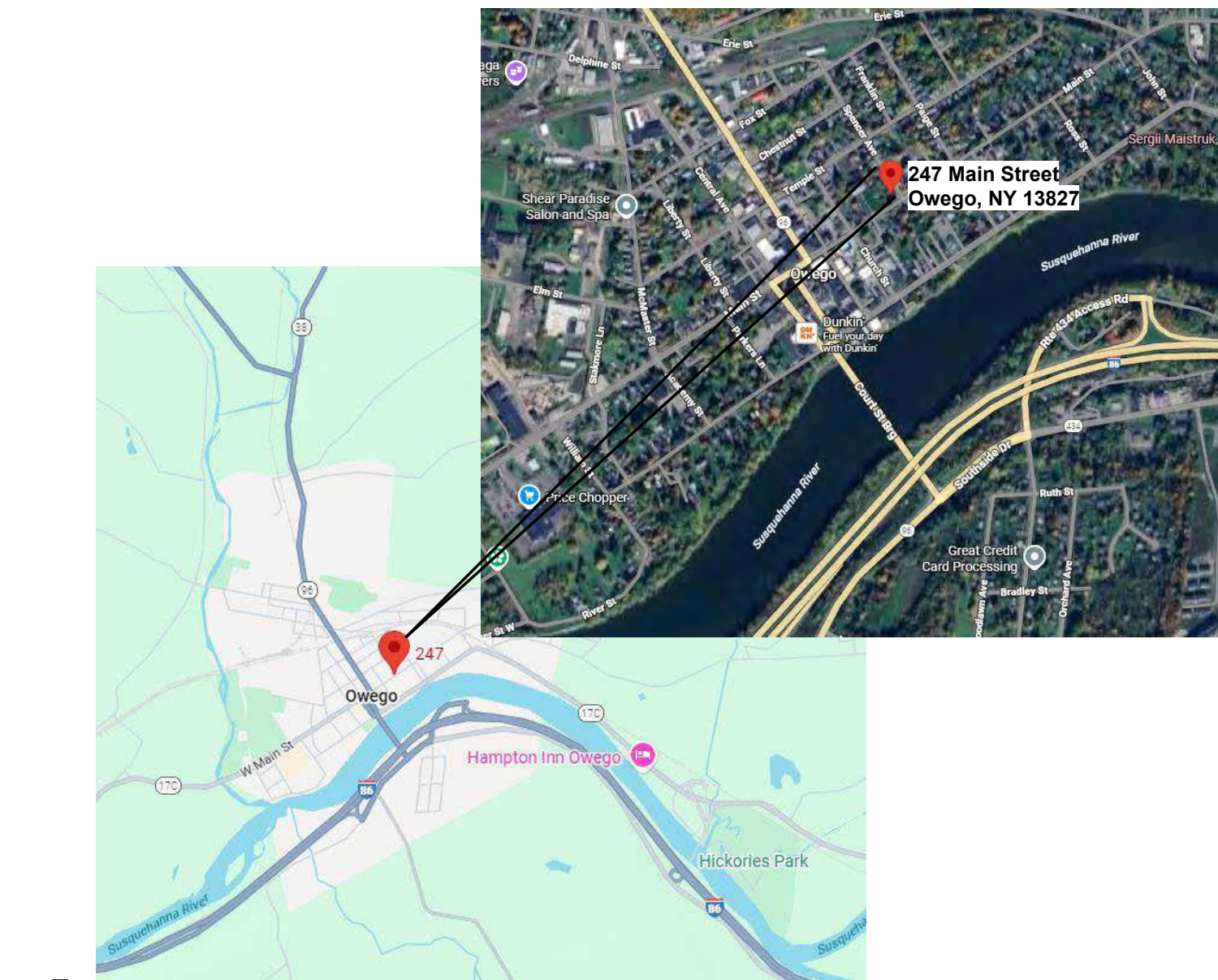
1 3D Exterior Perspective (NE Street View)



2 3D Exterior Perspective (SE Street View)



3 Site Plan



4 Site Location Map

BID ALTERNATES

- ADD Alternate 01 - Hardwood Flooring
Provide and Install new hardwood flooring (Oak) to match existing in size/ dimension; in lieu of Luxury Vinyl Tile (LVT), in Rooms (first Floor, only) as identified in the Notes and Specifications. (Refer to Drawing A-001 Notes & Specifications.)
- ADD Alternate 02 - Fiber Cement Plank Lap Siding
Provide and Install new Fiber Cement Plank Lap Siding (manufactured by James Hardie Building Products, Inc.); in lieu of Vinyl Siding, throughout.

General Construction/Execution Notes

- The General Contractor shall verify all conditions in the field and report any discrepancies in the drawings to the owner or architect for clarification prior to commencing the Work.
- The Contractor and/or Subcontractors shall obtain all necessary permits, approvals, certificates of occupancy, and any other authorizations required by local municipal agencies having jurisdiction for the project; unless otherwise directed by the Owner.
- All Work indicated on these Drawings shall be performed by the Contractor, unless noted otherwise.
- All design and documentation are to comply with applicable State/Local zoning laws and the current & applicable Building Code(s).
- The Contractor shall provide to the Owner proof of compensation insurance, liability insurance, and any other insurances as required by State Law.
- All Work shall be performed in a workmanlike manner with qualified mechanics in their trade.
- Each trade shall promptly report to the Owner, through the Contractor, any and all conditions which might interfere with, or otherwise affect or prevent, the proper installation, execution, and/or completion of their Work, and shall not commence any Work until such conditions have been corrected. Any and all discrepancies shall be brought to the attention of the Owner prior to the start of construction.
- Incidental Work may be necessary in areas not shown on the Drawings due to changes affecting Mechanical, Electrical, Plumbing, or other systems. Such incidental work is also part of this Contract. Inspect those areas, and ascertain Work needed and perform that Work at no additional cost.
- All materials and equipment, incorporated into the Work, shall be new, refurbished or used and bear the manufacturer's labeling and other markings.
- The General Contractor shall coordinate with all subcontractors for respective utility penetrations or sleeves at the wall, floor and roof areas. The General Contractor shall caulk and seal all utility sleeves with sealants compatible to the materials and respective fire ratings.
- The General Contractor and Subcontractor(s) shall obtain the Owner's approval for location and delivery of all stored materials on the site. Items improperly stored shall be relocated to acceptable areas as directed by the Owner or his representative. The Contractor(s) shall protect all stored materials from damage. Weathered and/or damaged materials shall not be used as acceptable materials for the project.
- The General Contractor shall clean the site daily during demolition and construction, provide acceptable refuse containers during the work, and dispose off the owner premises. All fees for disposal at legal landfill sites are the responsibility of the Contractor(s).
- The Contractor shall protect all walls, floors, doors, windows and related building components to remain during the construction. The building shall be protected from the elements during construction. Damage to the Work shall be replaced at the Contractor's expense.
- It is the responsibility of the Contractor to repair all damaged property at disturbed areas of the site and adjacent areas during the construction of the project. All lawn, landscaping, and/or hard-scaped areas disturbed due to equipment access or deliveries during the construction shall be repaired to their original condition.

General Note

- Refer to **A001, A002, & A003** for specific information and specs regarding each room/space.
- Refer to Drawings **A001, A002, & A003** for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
 - A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

List of Drawings

GENERAL DRAWINGS

- A000 Cover Sheet
- A001 Notes & Specifications
- A002 Notes & Specifications
- A003 Notes & Specifications

ARCHITECTURAL DRAWINGS

- AD100 Basement and First Level Demolition Plans
- AD101 Second Level and Roof Demolition Plans
- AD102 Existing Photos
- AD103 Existing Photos
- AD104 Existing Photos
- AD200 Exterior Elevations
- A100 Basement and First Level Floor Plans
- A101 Second Level Floor Plan and Roof Plan
- A102 Schedules, Notes & Details
- A200 Exterior Elevations
- A201 Exterior Elevations
- A202 Exterior Perspectives
- A300 Building Sections
- A301 Building Sections
- A302 Wall Sections
- A303 Wall Sections

ARCHITECTURAL DRAWINGS

- A400 Basement and First Level Reflected Ceiling Plans
- A401 Second Level Reflected Ceiling Plan
- A402 Interior Elevations
- A403 Interior Elevations
- A404 Interior Elevations

STRUCTURAL DRAWINGS

- S100 First and Second Level Floor Framing Plans

MECHANICAL DRAWINGS

- M100 Mechanical Basement and First Level Floor Plans
- M101 Mechanical Second Level Floor Plan

ELECTRICAL DRAWINGS

- E100 Electrical Basement and First Level Floor Plans
- E101 Electrical Second Level Floor Plan

PLUMBING DRAWINGS

- P100 Plumbing Basement and First Level Floor Plans
- P101 Plumbing Second Level Floor Plan

Owner



56 Main Street
Owego, NY 13827
(P) 607-687-8266

Architect



134 Court Street
Binghamton, NY 13901
(P) 607.217.7013

Construction Management



7 Thompson Street
Binghamton, NY 13903
(P) 607.765.6422
(P) 607.444.2883



Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Cover Sheet

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

A000

BASEMENT (A01-A08c)

- BASEMENT/FOUNDATION**
- 1. Removals**
- A01** A. Structural
- a. Remove interior floor support posts, as indicated on the Drawings. Temporarily support floors/walls above, and prep for new posts/footings.
- b. Remove stone footing, and associated timber posts along central structural bearing line, and temporarily support, in preparation for new concrete footing and wood-framed bearing wall. Existing wood beam, supporting the first floor, to remain in-place.
- A02** B. Architectural
- a. Remove existing basement windows, associated hardware, and wood blocking as indicated on the Drawings
- b. Re-grade/level dirt basement floor (existing concrete slabs may remain). Prep to receive new pea gravel cover.
- c. Create new openings to accommodate new floor vents. See Drawings for locations.
- A03** C. HVAC
- a. Remove existing furnace.
- b. Remove associated gas lines, drain lines, electrical connections and associated components.
- c. Remove existing HVAC ductwork, registers and associated hardware.
- A04** D. Electrical
- a. Remove existing panel(s) and associated wiring.
- b. Remove all electrical receptacles, switches, junction boxes and wiring.
- c. Remove all ceiling lights, junction boxes and wiring.
- A05** E. Plumbing
- a. Remove all domestic water, sanitary, and/or gas piping & fittings exposed in the Basement.
- A06** 2. Structural
- A. Install new 4" adjustable steel (schedule 40) Lally column(s) and reinforced concrete footing bases, as indicated on the Drawings.
- B. Install and retro-fit joist hangers at all first floor framing members, to remain.
- C. Examine all existing first floor framing members to remain for deterioration and/or cracking. Sister new framing members to these location(s) to reinforce and re-support any compromised floor framing.
- D. Contractor to utilize stone foundation material, salvaged from the previous Demolition Contract, to infill existing openings, adjust rough openings for Flood Vents, and to repair/infill any areas of missing (damaged areas of the existing stacked stone foundation walls.
- A07** 3. Architectural
- A. Construct new insulated crawl space access panel(s), as indicated on the Drawings
- B. Install new hollow metal door/frame (galvanized) and hardware at new Bilco basement access. Concrete rough opening in new foundation wall, ByOthers.
- C. Seal and infill all voids (with like material) around the foundation perimeter, creating a secure airtight enclosure to prevent pest/water intrusion.
- D. Provide insulation at underside of (existing) first floor assembly, as indicated on the drawings. NOTE: Rigid insulation to be foil-backed and rated for exposure.
- E. Level dirt floor surface, and Install 6" pea gravel.
- F. Install new floor vents. See Drawings for locations. Infill foundation wall at removal, as indicated.
- **Flood Vent:**
- Smart Vent - Engineered Flood Vents 19 Mantua Road, Mount Royal, NJ 0806 (877) 441-8368 https://www.smartvent.com/1540-0239
 - Product: Insulated Multi-Frame
 - Model: 1540-0239 Size: 32.5"W X 16"H x 3"D Rough Opening: 33"W X 16.375"H
 - Color: To be selected by the Owner
 - Air Ventilation: none.
 - Contractor to provide treated wood blocking (as required) at the existing masonry rough opening, to size the new rough opening to accept the flood vent installation. Coordinate with Manufacturer's installation requirements. Contractor to provide any/all Accessories recommended by the Manufacturer to complete the installation, including: Trim Kit, Sleeve Kit, Sealing Kit.
- A08a** 4. HVAC:
- A. Install new 1" natural gas service and meter.
- B. Contractor to coordinate final location and connection to municipal gas service with the Agency having jurisdiction
- C. See HVAC drawings for more information.
- A08b** 5. Electrical:
- A. Provide power receptacles, lighting, switches and branch wiring, and smoke detection.
- B. See Electrical drawings for new work
- C. Basement Light Fixture: *The Home Depot 8 ft. 9000LM 90W 2-Light LED White Shop Light 120V Bright White 4000K Garage Lighting Non-Dimmable (2-Pack) # 328275407*
- A08c** 6. Plumbing
- a. Install new main 4" PVC Sanitary line, and connect to municipal waste at street.
- b. Incude a clean-out inside the Basement.
- c. Contractor to coordinate final location and connection to municipal sewer, with the Agency having jurisdiction.
- B. Install new vent lines.
- C. Contractor to install new 1" domestic water service and meter. Coordinate final location and connection to municipal water, with the Agency having jurisdiction.
- D. See Plumbing Drawings for more information.

FIRST FLOOR (A10-A19)

- GENERAL** (applies to all spaces on this Level, unless noted otherwise)
- 1. Removals**
- A. Existing interior wall substrates are to be removed ByOthers. Prep for gypsum board replacement (after MEP Work).
- a. All wall base/trim are to be removed ByOthers. Items are preserved, salvaged/catalogued for re-installation by the Contractor.
- B. Existing ceiling substrates, finishes are to be removed ByOthers. Prep for replacement (after MEP Work).
- C. Selective Removal of existing windows and doors, as indicated on the Drawings
- A. All door/window interior Stools, Aprons, Trim, are to be removed ByOthers, and salvaged/catalogued for re-installation, by the Contractor
- D. Existing non-hardwood flooring and mastics (ex: carpet, tile, sheet vinyl) are to be removed ByOthers down to existing sub-flooring.
- E. Remove existing HVAC registers, ductwork and associated hardware
- F. Remove all electrical fixtures, components and branch wiring back to existing electrical panel.
- G. Remove all existing plumbing fixtures, piping, fittings, and associated components.
2. Floor
- A. **Hardwood areas: (ADD ALTERNATE No.01)**
- a. Remove existing hardwood flooring, and replace to match existing.
- b. Evaluate existing sub-flooring. Cut-out, fill-in and replace any damaged/ deteriorated sections with new plywood to match existing sub-flooring.
- c. Install new standard 2-1/4" T+G Red Oak Hardwood strip flooring.
- d. Fully-sanded surfacing, and new polyurethane transparent finish, 2-coats.
- B. **Non-Hardwood Areas:**
- a. Evaluate existing sub-flooring. Cut-out, fill-in and replace any damaged/ deteriorated sections with new plywood to match existing sub-flooring.
- b. Patch/Repair existing sub-flooring to fill-in voids left from removed heating vents, with like-material to match existing.
- c. Install new floor finish, as scheduled.
3. Wall
- A. Insulate exterior wall cavities w/ fiberglass batt insulation. Install insulation in the wall cavity to provide a minimum R-15 thermal rating.
- B. Install new 1/2" Gypsum board interior wall substrates, throughout.
- a. After HVAC, Plumbing, and Electrical Work has been completed.
- b. Finish all joints to a smooth finish.
- c. Prep walls for prime and paint.
- C. Paint new gypsum board wall surfaces, unless otherwise noted.
- a. Wall Color: *Benjamin Moore - Edgecomb Gray HC-173 - Sheen: Eggshell Unless otherwise specified.*
- b. See Finish Plans/Interior Elevations for any non-paint wall finishes (exmaple: wall tile)
4. Ceiling
- A. Install gypsum board at all ceilings. (See Notes specific to Dining/Kitchen/Mud Room for special conditions).
- a. Finish all joints to a smooth finish.
- b. Prep ceilings for prime and paint.
- c. Ceiling paint color to be *Benjamin Moore - Chantilly Lace OC-65 - Sheen: Flat.*
- B. GC to verify spacing of existing floor framing (above) to determine if 1/2" or 5/8" gypsum wall board should be installed.
5. Window and Doors
- A. Provide new/replacement windows and doors, as indicated on the drawings.
6. Moulding/Trim
- A. Re-install existing salvaged and catalogued wall base trim and opening casings/trim throughout.
- a. Provide new trim to match existing, in areas where salvaged trim is not available, or was too damaged to salvage.
- b. Paint all trim. Color to be *Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss*
7. HVAC
- A. Provide new heating system.
- B. Provide new finned-tube radiators at sizes/locations, as indicated on the Drawings.
- C. See mechanical drawings for new work.
- a. NOTE: all existing walls/ceilings substrates to be removed/replaced to expose cavities to receive new Work.
8. Electrical
- A. Electrical to be updated to meet current electrical code standards
- B. Provide new receptacles, switches, junction boxes, branch wiring, as indicated on the Drawings.
- C. Provide new Lighting fixtures, Manufacturer(s)/Model(s) TBD by Owner.
- D. See Electrical drawings for new work.
- a. NOTE: all existing walls/ceilings substrates to be removed/replaced to expose cavities to receive new Work.

FIRST FLOOR (con't.)

- A10** **LIVING ROOM**
- 1. Removals**
- A. Remove a portion of interior bearing wall between Living Room and Dining Room.
- a. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
- B. Remove entire interior non-bearing wall between Living Room and Stair 02.
2. Structural/Framing
- A. Install new beam at opening between Dining Room/Living Room, as indicated on the Drawings.
3. Floor:
- A. See General Notes.
- B. NOTE: See Bid Add Alternate 01 for alternative flooring material(s).
- C. Provide 1/4" hardwood underlayment to receive new LVL floor finishes.
- D. Install new LVT Flooring.
- a. LVT Flooring: *Tarkett Home - EverGen - Color: Divine Champagne 270312073*
4. Wall
- A. See General Notes.
5. Ceiling
- A. See General Notes.
6. Window and Doors
- A. See General Notes.
- B. Restore existing Entry Door, to remain.
7. Closet
- a. Construct new closet with wall shelf and closet rod by "Closetmaid". See Drawings for layout.
8. HVAC
- A. See General Notes.
9. Electrical
- A. See General Notes.
- B. Living Room Light Fixture: *LNC 4-Light Modern Black Chandelier Drum Candlestick Island Chandelier Pendant Light with Fabric Shade # EEUIJZ2HD1397UT7*
- C. Front Porch Entrance Fixture: *Edvivi Renzo 12 in. 4-Light Matte Black Cage Lantern Farmhouse Semi-Flush Mount # ESL1335BK*
- A11** **DINING ROOM**
- 1. Removals**
- A. Remove a portion of interior bearing wall between Living Room and Dining Room, as indicated on the Drawings.
- a. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
- B. Remove a portion of interior bearing wall between Dining Room and Kitchen, as indicated on the Drawings.
- a. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
2. Structural/Framing
- A. Install new beam at opening between Dining Room/Living Room, as indicated on the Drawings.
3. Floor
- A. See General Notes.
- B. NOTE: See Bid Add Alternate 01 for alternative flooring material(s).
- C. Provide 1/4" hardwood underlayment to receive new LVL floor finishes.
- D. Install new LVT Flooring.
- a. LVT Flooring: *Tarkett Home - EverGen - Color: Divine Champagne 270312073*
4. Wall
- A. See General Notes.
5. Ceiling
- A. See General Notes.
- B. NOTE: new ceiling to be dropped below underside of framing above to create plenum for new HVAC/Electric/Plumbing to serve the floor level above. See Reflected Ceiling Plans for more information.
6. Window and Doors
- A. See General Notes.
7. Fireplace
- A. Refinish brick. Paint *Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss*
- B. Replace existing Hearth and Firebox. Hearth material *Daltile - Portfolio 6x24 Floor Tile - Color: Dove Grey PF04.* (See Interior Elevations.)
- C. Install new trim and moulding (See Interior Elevation.) Paint *Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss*
8. HVAC
- A. See General Notes.
9. Electrical
- A. See General Notes.
- B. Dining Light Fixture: *ZJVAIVE 8-Light Classic Matte Black Candle Style Chandelier for Kitchen Island Dining Room with No Bubs Included 30 71in # ZJ-00131-8-B*
- C. Dining Room Sconces: *GoYeel Set of 2 Black Indoor Industrial Wall Sconces with White Fabric Shade, Modern Wall-Mounted Light Fixture for Bedroom # WS29BK-02*
- A12** **KITCHEN / PANTRY**
- 1. Removals**
- A. Remove a portion of interior bearing wall between Dining Room and Kitchen, as indicated on the Drawings.
- a. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
- B. Remove a portion of interior bearing wall between Kitchen and Mudroom (Sitting Room), as indicated on the Drawings.
- a. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls
2. Structural/Framing
- A. Install new beam at opening between Kitchen/ Dining room, as indicated on the Drawings.
3. Floor
- A. See General Notes.
- B. NOTE: See Bid Add Alternate 01 for alternative flooring material(s).
- C. Provide 1/4" hardwood underlayment to receive new floor finishes.
- D. Install new LVT Flooring.
- a. LVT Flooring: *Tarkett Home - EverGen - Color: Divine Champagne 270312073*
4. Wall
- A. See General Notes.
- B. Construct new (north) exterior wall, as indicated on the Drawings.
- C. Infill exterior wall (west) at removed window.
- D. Construct Pantry enclosure, as indicated on the Drawings.
- E. Install wall tile in areas indicated on the Drawings.
- a. Subway Tile: Wall Tile: *Daltile Restore Bright White 3 in. x 6 in. Glossy Ceramic Subway Wall Tile (12.5 sq. ft. /case) # RE1536MODHD1P4*
- b. Grout: *Latcrete Permacolor Grout - Color: Iron*
5. Ceiling
- A. See General Notes.
- B. NOTE: new ceiling to be dropped below underside of framing above to create plenum for new HVAC/Electric/Plumbing to serve the floor level above. See Reflected Ceiling Plans for more information.
6. Window and Doors
- A. See General Notes.
7. Cabinet, countertops, and sink
- A. Install new kitchen cabinets, countertop, single-basin sink, faucet. Contractor to coordinate blocking, hardware and trim.
- a. Kitchen cabinets to be Kraftmaid (or equivalent) - Casework Color: *Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss*
- b. Plywood box construction
- c. Soft closing drawer hardware and Soft closing hinges
- d. Shaker style doors/ with solid drawers
- d. Painted finish, Color TBD by Owner
- B. Install quartz countertops.
- a. Kitchen Countertops: *Cambria Signature Series - Color: Charlestown*
- C. Sink: *KRAUS Dex 33 Undermount 16 Gauge Stainless Steel Single Bowl Kitchen Sink # KA1US33B*
- D. Faucet: *Kohler Caplano Single-Handle Pull-Down Sprayer Kitchen Faucet with Boost Technology in Vibrant Stainless # K-R24214-SD-VS*
- E. Drawer Pulls: *Liberty Cup Dual Mount 2-1/2 or 3 in. (64/76 mm) Classic Satin Nickel Round Cabinet Drawer Cup Pull # PN1053H-B5N-C*
- F. Cabinet Knobs: *Liberty Garrett 1-1/4 in. (32 mm) Classic Satin Nickel Round Cabinet Knob # P50154H-STN-C*
8. Appliances
- A. New appliances to be purchased and installed by General Contractor. Provide and install all required plumbing, electrical, and HVAC components.
- B. Refrigerator: *LG 28 cu. ft. 3 Door French Door Refrigerator with Ice and Water Dispenser and Craft Ice in PrintProof Stainless Steel # LHR52X8S*
- C. Dishwasher: *LG 24 in. in Stainless Steel Front Control Dishwasher # LDFN3432T*
- D. Range: *LG 30 in. 6.3 cu. ft. Smart Wi-Fi Enabled Fan Convection Electric Range Oven with AirFry and EasyClean in Stainless Steel # LRL6323S*
- E. Hood: *LG 30 in. Smart Wall Mount Range Hood with LED Lighting in Stainless Steel # HCEd3015S*
- F. Microwave: *LG NeoChef 24 in. Width 2.0 cu.ft. Stainless Steel 1200-Watt Countertop Microwave # LMC2075ST*
- a. Contractor to coordinate size and locations of microwave unit within base cabinet, see Interior Elevations.
9. HVAC
- A. See General Notes.
- B. Provide Stainless Steel hood, wiring and controls
- a. Provide ductwork and exhaust to the exterior
- C. Provide exterior wall louver, see mechanical drawings for new work.
10. Electrical
- A. See General Notes.
- B. Contractor to verify and coordinate power requirements for all planned kitchen appliances and/or equipment.
- C. See Electrical drawings for new work.
- D. Kitchen Pendants: *Westinghouse 1-Light Oil Rubbed Bronze Adjustable Mini Pendant with Hand-Blown Clear Seeded Glass # 6100800*
11. Plumbing
- A. Provide & install new single-basin kitchen sink, faucet, and associated plumbing.
- B. Provide associated plumbing for new dishwasher.
- C. Provide cold water line to Refrigerator.
- D. Provide associated piping for new natural gas range/ stove.
- E. NOTE: all existing walls/ceilings substrates to be removed/replaced to expose cavities to receive new Work.

FIRST FLOOR (con't.)

- A13** **MUD ROOM**
- 1. Removals**
- A. Remove a portion of interior bearing wall between Kitchen and Mudroom (Sitting Room), as indicated on the Drawings.
- a. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls
2. Structural
- A. Install new beam at opening between Kitchen and Mud Room, as indicated on the Drawings.
3. Floor
- A. See General Notes.
- B. Install new porcelain tile flooring, as scheduled.
- a. Provide Schluter Ditra waterproofing membrane.
- b. Mud Room Floor Tile: *Daltile - Portfolio 6x24 Floor Tile - Color: Dove Grey PF04*
- c. Grout: *Latcrete Permacolor Grout - Color: Iron*
- d. New marble thresholds at transitions to different flooring material(s).
4. Wall
- A. See General Notes.
- B. Construct new (north) exterior wall, as indicated on the Drawings.
- C. Construct new interior partitions to form the Mud Room.
- a. See Floor Plans for more information.
5. Ceiling
- A. See General Notes
- B. NOTE: new ceiling to be dropped below underside of framing above to create plenum for new HVAC/Electric/Plumbing to serve the floor level above. See Reflected Ceiling Plans for more information.
6. Window and Doors
- A. See General Notes.
7. Casework
- A. Construct built-in bench/ coat hooks / storage cubby, see drawings for layout.
- B. Prime and paint:
- a. Color: *Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss*
- C. Install coat hooks. (See Interior Elevations)
- a. *Mud Room Coat Hooks: Liberty 4-3/8 in. Satin Nickel Beveled Square Wall Hook # B31094C-SN-C*
8. HVAC
- A. See General Notes.
9. Electrical
- A. See General Notes.
- B. Mud Room Fixture: *Edvivi Renzo 12 in. 4-Light Matte Black Cage Lantern Farmhouse Semi-Flush Mount # ESL1335BK*
- A14** **POWDER ROOM**
- 1. Removals**
- A. See General Notes.
2. Floor
- A. Remove all existing sub flooring including nails and screws down to the existing floor joists. See Floor Framing Plans for new work.
- B. Install 3/4" T & G "AdvanTech" sub-flooring. Contractor to glue and nail sheathing to floor framing.
- See Floor Framing Plans for new work
- C. Install new porcelain tile flooring, as scheduled.
- a. Provide Schluter Ditra waterproofing membrane.
- b. Powder Room Floor Tile: *Daltile - Portfolio 6x24 Floor Tile - Color: Dove Grey PF04*
- c. Grout: *Latcrete Permacolor Grout - Color: Iron*
- d. New marble thresholds at transitions to different flooring material(s).
3. Wall
- A. See General Notes.
- B. Construct new interior partitions to form the Powder Room.
- a. See Floor Plans for more information.
- C. Prime and paint walls *Benjamin Moore - Whitall Brown HC-69 - Sheen: Satin*
4. Ceiling
- A. See General Notes.
5. Window and Doors
- A. See General Notes.
6. Fittings and Fixtures
- A. Mirror:
- a. *KeonJinn 24 in. W x 36 in. H Framed Brushed Nickel Mirrors for Bathroom Wall Beveled Mirror Bathroom Vanity Mirror Over Sink # HD-XB-6191-BN*
- B. Vanity and Faucet:
- a. Vanity Cabinet and Sink: *Home Decorators Collection Terryn 37 in. Single Sink White Bath Vanity with Engineered White Marble Top (Assembled) # TJ02-11V3720WH*
- b. Faucet: *Kohler Caplano 8 in. Widespread 2-Handle Bathroom Faucet in Vibrant Brushed Nickel # K-R30582-4D-BN*
- C. Light fixture (above vanity): *LNC Modern Gold Bathroom Vanity Light 23 in. 3-Light Mid-century Arched Mirror Sconce Bath Vanity Light with Fabric Shades a # IZVQ2HD1043G7*
- D. Accessories:
- a. Towel Ring: *Kohler Caplano Towel Ring in Vibrant Brushed Nickel # K-R26684-BN*
- b. Toilet Paper Holder: *Kohler Caplano Toilet Paper Holder in Vibrant Brushed Nickel # K-R26683-BN*
- E. Toilet: *American Standard Edgemore White Elongated Chair height 12-in Rough-In WaterSense 1.28 GPF Soft Close 2-piece Toilet # 204AA105.020*
7. HVAC
- A. See General Notes.
- B. Exhaust fan
- a. Panasonic WhisperCeiling 0.4-Sone 110-CFM White Ventilator Fan (or equivalent).
- b. Provide all necessary ductwork connection, sidewall louver and electrical hook ups with individual switches for fan control.
- C. See HVAC Drawings for more information.
8. Electrical
- A. See General Notes.
- B. Light fixture at new vanity
- a. Provide all necessary electrical hook up and individual switch for operation. See Electrical drawings for new work.
- C. See Electrical Drawings for more information.
9. Plumbing
- A. Install new plumbing as required, for installation of new fixtures (domestic water, sanitary drain, and venting).
- B. See Plumbing drawings for more information.
- a. NOTE: all existing walls/ceilings substrates to be removed/replaced to expose cavities to receive new Work.

- A15** **SITTING ROOM**
- 1. Removals**
- A. Modify opening in non-bearing wall between Sitting Room and Foyer.
- a. See Structural Drawings for more information.
2. Floor
- A. See General Notes.
- B. NOTE: See Bid Add Alternate 01 for alternative flooring material(s).
- C. Provide 1/4" hardwood underlayment to receive new LVL floor finishes.
- D. Install new LVT Flooring.
- a. LVT Flooring: *Tarkett Home - EverGen - Color: Divine Champagne 270312073*
3. Wall
- A. See General Notes.
- B. Construct new (north) exterior wall, as indicated on the Drawings.
- C. Extend existing interior non-bearing partition, at opening between Sitting Room and Foyer.
- a. See Floor Plan for more information.
- D. Construct new 2x wood partitions, as indicated on the Drawings.
- E. Prime and paint walls Sitting Room Wall Color: *Benjamin Moore - Boothbay Gray HC-165 - Sheen: Eggshell*
4. Ceiling
- A. See General Notes.
5. Window and Doors
- A. See General Notes.
6. HVAC
- A. See General Notes.
7. Electrical
- A. See General Notes.

FIRST FLOOR (con't.)

- A16** **FOYER/COAT CLOSET 01**
- 1. Removals**
- A. See General Notes.
- B. Modify opening in non-bearing wall between Sitting Room and Foyer.
- a. See Structural Drawings for more information.
- C. Create new rough opening in existing wall, for new door to Utility.
2. Floor
- A. See General Notes.
- B. NOTE: See Bid Add Alternate 01 for alternative flooring material(s).
- C. Provide 1/4" hardwood underlayment to receive new LVL floor finishes.
- D. Install new LVT Flooring.
- a. LVT Flooring: *Tarkett Home - EverGen - Color: Divine Champagne 270312073*
3. Wall
- A. See General Notes.
- B. Extend existing interior non-bearing partition, at opening between Sitting Room and Foyer.
- a. See Floor Plan for more information.
- C. Prime and paint walls. Foyer Wall Color: *Benjamin Moore - Henderson Buff HC-15 - Sheen: Eggshell*
4. Ceiling
- A. See General Notes.
- B. Provide batt insulation at perimeter. Fill floor/ ceiling cavity with minimum R-25 thermal rating, as indicated on the Drawings.
- C. Install moisture/mold resistant 1/2" gypsum board at all ceilings.
- a. Finish all joints to a smooth finish.
- b. Prep ceilings for prime and paint.
- c. Ceiling paint color to be *Benjamin Moore - Chantilly Lace OC-65 - Sheen: Flat.*
5. Window and Doors
- A. See General Notes.
- a. Restore existing Entry Door, to Remain.
6. Closet
- A. Construct new closet with wall shelf and closet rod by "Closetmaid". See Drawings for layout.
7. HVAC
- A. See General Notes.
8. Electrical
- A. See General Notes.
- B. Foyer Fixture: *ALOA DECOR 18 in. 5-Light Antique Gold Classic/Traditional Crystal Chandelier Glam Lighting Fixture # H7121D50AB05A*
- A17** **PARLOR**
- 1. Removals**
- A. See General Notes.
- B. Create rough opening in existing interior bearing wall between Parlor and Stair 02.
2. Floor
- A. See General Notes.
- B. Restore/Refinish existing wood flooring.
3. Wall
- A. See General Notes.
- B. Prime and paint wainscoting, trim, and pocket door. See Interior Elevations.
- a. Parlor wainscoting/trim/pocket door color: *Benjamin Moore - Whitall Brown HC-69 - Sheen: Satin*
- C. Install wall covering. See Interior Elevations.
- a. *Momentum - Fiji - Color: ASL-13984S Stormcloud*
4. Ceiling
- A. See General Notes.
5. Window and Doors
- A. See General Notes.
- B. Restore existing double pocket door (to Foyer)
- C. Install new Pocket Door (to Stair 02)
- a. Refer to the Structural Header Table for header sizing/criteria.
6. HVAC
- A. See General Notes.
7. Electrical
- A. See General Notes.
- A18** **STAIR 01 & STAIR 02 (FIRST FLOOR TO SECOND FLOOR)**
- 1. Removals**
- A. See General Notes.
- B. Remove any damaged: treads, risers, stringers, handrailing and associated hardware; and prep for restoration.
2. Wall
- A. See General Notes.
- B. Prime and paint walls Foyer/Hall Wall Color: *Benjamin Moore - Henderson Buff HC-15 - Sheen: Eggshell*
3. Ceiling
- a. See General Notes.
4. Stair and railing components
- A. Restore existing stair and railing components to "Like-new" condition.
- a. Provide replacement to match existing, for any missing or damaged stair/railing components, including: treads, risers, newel posts, balusters, hand railing.
- b. After restoration, re-finish entire Stair and railing, to achieve a uniform appearance.
- c. Provide new railing at second floor around Stair opening, as indicated on the Drawings.
- d. Paint railing components. Color: *Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss*
- e. All treads to be clear stained oak.
- f. All risers to be *Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss*
5. HVAC
- A. See General Notes.
6. Electrical
- A. See General Notes.
- Note:** Treads and risers shall be routed into the side stringers via machined dados or mortises. Routing shall be performed to tight tolerances to ensure proper fit. Treads and risers shall be set into the grooves with wood adhesive and secured with hardwood wedges to achieve a concealed mechanical joint, providing maximum structural integrity and a seamless finish with no visible fasteners.

- A19** **UTILITY**
- 1. Removals**
- A. See General Notes.
- B. Create new rough opening in existing wall, for new door to Utility.
2. Floor
- A. See General Notes.
3. Wall
- A. See General Notes.
- B. Construct new interior partitions to form the Utility Room.
- a. See Floor Plans for more information.
4. Ceiling
- A. See General Notes.
5. Window and Doors
- A. See General Notes.
6. HVAC
- A. See General Notes.
- B. Install new hot water boiler, and associated piping, fittings, valves, controls, etc
7. Electrical
- A. See General Notes.
8. Plumbing
- A. Install new 50-gallon electric high efficiency water heater.
- B. See Plumbing Drawings for more information.
- a. NOTE: all existing walls/ceilings substrates to be removed/replaced to expose cavities to receive new Work.

- A20** **ELECTRICAL CL.**
- 1. Removals**
- A. See General Notes.
2. Floor
- A. See General Notes.
3. Wall
- A. See General Notes.
- B. Construct new interior partitions to form the Electrical CL.
- a. See Floor Plans for more information.
4. Ceiling
- A. See General Notes.
5. Window and Doors
- A. See General Notes.
6. Electrical
- A. Install new electric service panel.
- a. 200a
- B. See Electrical Drawings for more information
- a. NOTE: all existing walls/ceilings substrates to be removed/replaced to expose cavities to receive new Work.



LOMBARDINI+LAYTON
architecture

134 COURT STREET
BINGHAMTON, NY 13901
607.217.7013
www.L2studioarch.com

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Notes & Specifications

Owner:

Tioga County

Project Address:

247 Main Street
Owego, NY 13827

Sheet Title

Project Number: 25.024

Scale: 12" = 1'-0"

Revisions		
No.	Description	Date

Date: 06/25/2026

Sheet Number

A001

SECOND FLOOR (A20-A28)

GENERAL (applies to all spaces on this Level, unless noted otherwise)

1. Removals
- A. Existing interior wall substrates are to be removed ByOthers. Prep for gypsum board replacement (after MEP Work).
- a. All wall base/trim are to be removed ByOthers. Items are preserved, salvaged/catalogued for re-installation by the Contractor.
- B. Existing ceiling substrates, finishes are to be removed ByOthers. Prep for replacement (after MEP Work).
- C. Selective Removal of existing windows and doors, as indicated on the Drawings.
- a. All door/window interior Stools, Aprons, Trim, are to be removed ByOthers, and salvaged/catalogued for re-installation, by the Contractor
- D. Existing non-hardwood flooring and mastics (ex: carpet, tile, sheet vinyl) are to be removed ByOthers down to existing sub-flooring.
- E. Remove existing HVAC registers, ductwork and associated hardware
- F. Remove all electrical fixtures, components and branch wiring back to existing electrical panel.
- G. Remove all existing plumbing fixtures, piping, fittings, and associated components.
2. Floor
- A. Evaluate existing sub-flooring. Cut-out, fill-in and replace any damaged/ deteriorated sections with new plywood to match existing sub-flooring.
- B. Patch/Repair existing sub-flooring to fill-in voids left from removed heating vents, with like-material to match existing.
- C. Install new floor finish, as scheduled.
3. Wall
- A. Insulate exterior wall cavities w/ fiberglass batt insulation. Install insulation in the wall cavity to provide a minimum R-15 thermal rating.
- B. Install new 1/2" Gypsum board interior wall substrates, throughout.
- a. After HVAC, Plumbing, and Electrical Work has been completed.
- b. Finish all joints to a smooth finish
- c. Prep walls for prime and paint, color TBD byOwner
- C. Paint new gypsum board wall surfaces, unless otherwise noted.
- a. See Finish Plans/Interior Elevations for any non-paint wall finishes (example: wall tile)
4. Ceiling
- A. Provide batt insulation above ceiling/ attic. Fill cavity with minimum R-49 thermal rating, as indicated on the drawings.
- B. Install gypsum board at all ceilings.
- a. Finish all joints to a smooth finish.
- b. Prep ceilings for prime and paint.
- c. Ceiling paint color to be Benjamin Moore - Chantilly Lace OC-65 - Sheen: Flat.
- C. GC to verify spacing of existing floor framing to determine if 1/2" or 5/8" gypsum wall board should be installed.
5. Window and Doors
- A. Provide new/replacement windows and doors, as indicated on the drawings.
6. Moulding/Trim
- A. Re-install existing salvaged wall base trim and opening casings/trim throughout.
- a. Provide new trim to match existing, in areas where salvaged trim is not available, or was too damaged to salvage.
- b. Paint all trim. Color: Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss
7. HVAC
- A. Provide new heating system.
- B. Provide new finned-tube radiators at sizes/locations, as indicated on the Drawings.
- C. See mechanical drawings for new work
- a. NOTE: all existing walls/ceilings substrates to be removed/replaced to expose cavities to receive new Work.
8. Electrical
- A. Electrical to be updated to meet current electrical code standards
- B. Provide new receptacles, switches, junction boxes, branch wiring, as indicated on the Drawings.
- C. Provide new Lighting fixtures, Manufacturer(s)/Model(s) TBD byOwner.
- a. NOTE: all existing walls/ceilings substrates to be removed/replaced to expose cavities to receive new Work.
- D. See Electrical drawings for new work.
- a. NOTE: all existing walls/ceilings substrates to be removed/replaced to expose cavities to receive new Work.

A20 STAIR 01 & STAIR 02 (FIRST FLOOR TO SECOND FLOOR) AND COAT CLOSET 02

1. Removals
- A. See General Notes.
- B. Remove any damaged: treads, risers, stringers, handrailing and associated hardware; and prep for restoration.
2. Wall
- A. See General Notes.
- B. Prime and paint walls Color: Benjamin Moore - Henderson Buff HC-15 - Sheen: Eggshell
3. Ceiling
- A. See General Notes.
4. Stair and railing components
- A. Restore existing stair and railing components to "Like-new" condition.
- a. Provide replacement to match existing, for any missing or damaged stair/railing components, including: treads, risers, newel posts, balusters, hand railing.
- b. After restoration, re-finish entire Stair and railing, to achieve a uniform appearance.
- c. Provide new railing at second floor around Stair opening, as indicated on the Drawings.
- d. Paint railing components. Color: Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss
- e. All treads to be clear stained oak.
- f. All risers to be Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss
5. HVAC
- A. See General Notes.
6. Electrical
- A. See General Notes.

Note: Treads and risers shall be routed into the side stringers via machined dadoes or mortises. Routing shall be performed to tight tolerances to ensure proper fit. Treads and risers shall be set into the grooves with wood adhesive and secured with hardwood wedges to achieve a concealed mechanical joint, providing maximum structural integrity and a seamless finish with no visible fasteners.

A21 HALL 01/ CLOSET 05

1. Removals
- A. See General Notes
2. Floor
- A. See General Notes.
- B. Provide 1/4" hardwood underlayment to receive new LVL floor finishes.
- C. Install new LVT Flooring.
- a. LVT Flooring: Tarkett Home - EverGen - Color: Divine Champagne 270312073
3. Wall
- A. See General Notes.
- B. Construct new 2x wood partitions, as indicated on the Drawings.
- C. Infill existing doorways to be removed, as indicated on the Drawings. Match adjacent conditions/finishes.
- D. Patch/Repair/Restore plaster finish at existing chimney stack, to remain. Paint.
- E. Prime and paint walls Hall Wall Color: Benjamin Moore - Henderson Buff HC-15 - Sheen: Eggshell
4. Ceiling
- a. See General Notes
5. Closet
- A. Construct new closet with wall shelf and closet rod by "Closetmaid". See Drawings for layout.
6. Window and Doors
- A. See General Notes.
7. HVAC
- A. See General Notes.
8. Electrical
- A. See General Notes.

SECOND FLOOR (cont.)

A22 HALL 02/ CLOSET 01a & 01b

1. Removals
- A. See General Notes
- B. Remove all interior 2x4 wood framing, blocking, and associated hardware, as indicated on the drawings. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
2. Floor
- A. See General Notes
- B. Provide 1/4" hardwood underlayment to receive new LVL floor finishes.
- C. Install new LVT Flooring.
- a. LVT Flooring: Tarkett Home - EverGen - Color: Divine Champagne 270312073
3. Wall
- A. See General Notes
- B. Infill existing doorways to be removed, as indicated on the Drawings. Match adjacent conditions/finishes.
- C. Construct new 2x wood partitions, as indicated on the Drawings.
4. Ceiling
- A. See General Notes
5. Closets
- A. Construct new closet with wall shelf and closet rod by "Closetmaid". See Drawings for layout.
6. Window and Doors
- A. See General Notes
7. HVAC
- A. See General Notes.
8. Electrical
- A. See General Notes

A23 BEDROOM 01

1. Removals
- A. See General Notes
- B. Remove all interior 2x4 wood framing, blocking, and associated hardware, as indicated on the drawings. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
2. Floor
- A. See General Notes
- B. Provide 1/4" hardwood underlayment to receive new LVL floor finishes.
- C. Install new LVT Flooring.
- a. LVT Flooring: Tarkett Home - EverGen - Color: Divine Champagne 270312073
3. Wall
- A. See General Notes
- B. Infill existing doorways to be removed, as indicated on the Drawings. Match adjacent conditions/finishes.
- C. Construct new 2x wood partitions, as indicated on the Drawings.
4. Ceiling
- A. See General Notes
5. Window and Doors
- A. See General Notes
6. HVAC
- A. See General Notes.
- B. Provide new mechanical registers, see mechanical drawings for new work.
7. Electrical
- A. See General Notes

A24 BEDROOM 02/ CLOSET 02

1. Removals
- A. See General Notes
- B. Remove all interior 2x4 wood framing, blocking, and associated hardware, as indicated on the drawings. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
2. Floor
- A. See General Notes
- B. Provide 1/4" hardwood underlayment to receive new LVL floor finishes.
- C. Install new LVT Flooring.
- a. LVT Flooring: Tarkett Home - EverGen - Color: Divine Champagne 270312073
3. Wall
- A. See General Notes
- B. Construct new (north) exterior wall, as indicated on the Drawings.
- C. Construct new 2x wood partitions, as indicated on the Drawings.
4. Ceiling
- A. See General Notes
5. Closet
- A. Construct new closet with wall shelf and closet rod by "Closetmaid". See Drawings for layout.
6. Window and Doors
- A. See General Notes
7. HVAC
- A. See General Notes.
8. Electrical
- A. See General Notes

A25 BEDROOM 03/ CLOSET 03

1. Removals
- A. See General Notes
- B. Remove all interior 2x4 wood framing, blocking, and associated hardware, as indicated on the drawings. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
2. Floor
- A. See General Notes
- B. Refinish existing wood flooring
3. Wall
- A. See General Notes
- B. Construct new (north) exterior wall, as indicated on the Drawings.
- C. Infill existing doorways to be removed, as indicated on the Drawings. Match adjacent conditions/finishes.
- D. Construct new 2x wood partitions, as indicated on the Drawings.
4. Ceiling
- A. See General Notes
5. Closet
- A. Construct new closet with wall shelf and closet rod by "Closetmaid". See Drawings for layout.
6. Window and Doors
- A. See General Notes
7. HVAC
- A. See General Notes
- B. Provide new mechanical registers, see mechanical drawings for new work.
8. Electrical
- A. See General Notes

SECOND FLOOR (cont.)

A26 BEDROOM 04/ CLOSET 04a & 04b

1. Removals
- A. See General Notes
- B. Remove all interior 2x4 wood framing, blocking, and associated hardware, as indicated on the drawings. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
2. Floor
- A. See General Notes
- B. Provide 1/4" hardwood underlayment to receive new LVL floor finishes.
- C. Install new LVT Flooring.
- a. LVT Flooring: Tarkett Home - EverGen - Color: Divine Champagne 270312073
3. Wall
- A. See General Notes
- B. Construct new 2x wood partitions, as indicated on the Drawings.
4. Ceiling
- A. See General Notes
5. Closet
- A. Construct new closet with wall shelf and closet rod by "Closetmaid". See Drawings for layout.
6. Window and Doors
- A. See General Notes
7. HVAC
- A. See General Notes.
- B. Provide new mechanical registers, see mechanical drawings for new work.
8. Electrical
- A. See General Notes

A27 BATHROOM 01 / LINEN 01

1. Removals
- A. See General Notes
- B. Remove all subflooring.
2. Floor
- A. See General Notes
- B. Install 3/4" T & G "AdvanTech" sub-flooring. Contractor to glue and nail sheathing to floor framing. See Floor Framing Plans for new work.
- C. Install new porcelain tile flooring.
- a. Provide Schluter Ditra waterproofing membrane.
- b. Bathroom Floor Tile: Daltile - Arctic White/Black Matte Hexagon Mosaic CW51
- c. Grout: Laticrete Permacolor Grout - Color: Iron
- d. New marble threshold transition.
3. Wall
- A. See General Notes
- B. Construct new 2x wood partitions, as indicated on the Drawings.
- C. Install moisture/mold resistant 1/2" gypsum board wall substrates (after HVAC, Plumbing, and Electrical Work has been completed.)
- a. Finish all joints to a smooth finish.
- b. Prime and paint walls Bathroom Wall Color: Benjamin Moore - Boothbay Gray HC-165 - Sheen: Eggshell
- D. Install wall tile in areas indicated on the Drawings.
- a. Wall Tile: Daltile Restore Bright White 3 in. x 6 in. Glossy Ceramic Subway Wall Tile (12.5 sq. ft. /case) # RE1536MODHD1P4
- b. Grout: Laticrete Permacolor Grout - Color: Iron
4. Ceiling
- A. See General Notes
5. Window and Doors
- A. See General Notes
6. Linen
- A. Construct new Closet with wall shelf and closet rod by "Closetmaid". See Drawings for layout.
7. Fittings and Fixtures
- A. Mirror: KeonJinn 24 in. W x 36 in. H Framed Brushed Nickel Mirrors for Bathroom Wall Beveled Mirror Bathroom Vanity Mirror Over Sink # HD-XB-6191-BN
- B. Vanity and Faucet:
- a. Vanity Cabinet and Sink: Home Decorators Collection Terryn 72 in. Double Sink White Bath Vanity with White Engineered Stone Top (Assembled) # TJ-TNV7220WH
- b. Faucet: Kohler Capilano 8 in. Widespread 2-Handle Bathroom Faucet in Vibrant Brushed Nickel # K-R30582-4D-BN
- C. Light fixture (above vanity): LNC Modern Gold Bathroom Vanity Light 23 in. 3-Light Mid-century Arched Mirror Sconce Bath Vanity Light with Fabric Shades # IZVYQ2HD14034G7
- D. Accessories:
- a. Towel Ring: Kohler Capilano Towel Ring in Vibrant Brushed Nickel # K-R26684-BN
- b. Towel Bar: Kohler Capilano 24 in. Towel Bar in Vibrant Brushed Nickel # K-R26681-BN
- c. Hooks: Kohler Capilano Robe Hook in Vibrant Brushed Nickel # K-R26685-BN
- d. Toilet Paper Holder: Kohler Capilano Toilet Paper Holder in Vibrant Brushed Nickel # K-R26683-BN
- E. Toilet: American Standard Edgemere White Elongated Chair height 12-in Rough-In WaterSense 1.28 GPF Soft Close 2-piece Toilet # 204AA105.020
- F. Shower faucet:
- a. Shower Faucet: Kohler Capilano Single-Handle 3-Spray Tub and Shower Faucet in Vibrant Brushed Nickel (Valve Included) # K-R26930-4G-BN
8. HVAC
- A. See General Notes
- B. Exhaust fan
- a. Panasonic WhisperCeiling 0.4-Sone 150-CFM White Ventilator Fan (or equivalent).
- b. Provide all necessary ductwork connection, sidewall louver and electrical hook ups with individual switches for fan control.
9. Electrical
- A. See General Notes. .
- B. Light fixtures at new vanity
- a. Provide all necessary electrical hook up and individual switch for operation. See Electrical drawings for new work.
10. Plumbing
- A. Install new plumbing as required, for installation of new fixtures (domestic water, sanitary drain, and venting). See Plumbing drawings for new work.

SECOND FLOOR (cont.)

A28 BATHROOM 02 / LAUNDRY / LINEN 02

1. Removals
- A. See General Notes.
- B. Remove existing subflooring.
- C. Remove all interior 2x4 wood framing, blocking, and associated hardware, as indicated on the drawings. Contractor to provide temporary 2x4 shoring @ 16" O.C. adjacent to all removed interior bearing walls.
2. Floor
- A. See General Notes
- B. Install 3/4" T & G "AdvanTech" sub-flooring. Contractor to glue and nail sheathing to floor framing. See Floor Framing Plans for new work.
- C. Install new porcelain tile flooring.
- a. Provide Schluter Ditra waterproofing membrane.
- b. Bathroom Floor Tile: Daltile - Arctic White/Black Matte Hexagon Mosaic CW51
- c. Grout: Laticrete Permacolor Grout - Color: Iron
- d. New marble threshold transition.
3. Wall
- A. See General Notes
- B. Infill existing doorways to be removed, as indicated on the Drawings. Match adjacent conditions/finishes.
- C. Construct new 2x wood partitions, as indicated on the Drawings.
- D. Install moisture/mold resistant 1/2" gypsum board wall substrates (after HVAC, Plumbing, and Electrical Work has been completed.)
- a. Finish all joints to a smooth finish.
- b. Prime and paint walls Bathroom Wall Color: Benjamin Moore - Boothbay Gray HC-165 - Sheen: Eggshell
- E. Install wall tile in areas indicated on the Drawings.
- a. Wall Tile: Daltile Restore Bright White 3 in. x 6 in. Glossy Ceramic Subway Wall Tile (12.5 sq. ft. /case) # RE1536MODHD1P4
- b. Grout: Laticrete Permacolor Grout - Color: Iron
4. Ceiling
- A. See General Notes
5. Window and Doors
- A. See General Notes
6. Fittings and Fixtures
- A. Mirror: Timeless Home Black 24 in. W x 30 in. H Rectangular Pivot Mirror # MR12H2430BLACK
- B. Vanity and Faucet:
- a. Vanity Cabinet and Sink: Home Decorators Collection Terryn 72 in. Double Sink White Bath Vanity with White Engineered Stone Top (Assembled) # TJ-TNV7220WH
- b. Faucet: Kohler Capilano 8 in. Widespread 2-Handle Bathroom Faucet in Vibrant Brushed Nickel # K-R30582-4D-BN
- C. Light fixture (above vanity):
- a. Light Fixture (Above Vanities): LNC Modern Gold Bathroom Vanity Light 23 in. 3-Light Mid-century Arched Mirror Sconce Bath Vanity Light with Fabric Shades # IZVYQ2HD14034G7
- D. Accessories:
- a. Towel Ring: Kohler Capilano Towel Ring in Vibrant Brushed Nickel # K-R26684-BN
- b. Towel Bar: Kohler Capilano 24 in. Towel Bar in Vibrant Brushed Nickel # K-R26681-BN
- c. Hooks: Kohler Capilano Robe Hook in Vibrant Brushed Nickel # K-R26685-BN
- d. Toilet Paper Holder: Kohler Capilano Toilet Paper Holder in Vibrant Brushed Nickel # K-R26683-BN
- E. Toilet: American Standard Edgemere White Elongated Chair height 12-in Rough-In WaterSense 1.28 GPF Soft Close 2-piece Toilet # 204AA105.020
- F. Shower faucet:
- a. Shower Faucet: Kohler Capilano Single-Handle 3-Spray Tub and Shower Faucet in Vibrant Brushed Nickel (Valve Included) # K-R26930-4G-BN
7. HVAC
- A. See General Notes
- B. Provide new mechanical registers, see mechanical drawings for new work.
- C. Exhaust fan
- a. Panasonic WhisperCeiling 0.4-Sone 150-CFM White Ventilator Fan (or equivalent).
- b. Provide all necessary ductwork connection, sidewall louver and electrical hook ups with individual switches for fan control.
8. Electrical
- A. See General Notes
- B. Light fixtures at new vanity
- a. Provide all necessary electrical hook up and individual switch for operation. See Electrical drawings for new work.
9. Plumbing
- A. Install new plumbing as required, for installation of new fixtures (domestic water, sanitary drain, and venting). See Plumbing drawings for new work.
10. Washer and Dryer
- A. Construct 18" wall shelf. See Drawings for layout.
- B. Washer and Dryer appliances ByOwner. Contractor to provide and install the hook ups.
- a. Include all necessary supply lines, shut off valves, sanitary connections, and hook ups for a complete installation. Include all electrical power requirements, receptacles, and branch wiring.
- b. Install all necessary material for venting to the exterior.
- C. Washer: LG 5.0 cu. ft. Stackable Front Load Washer in White with 6 Motion Cleaning Technology # WM3470CW
- D. Dryer: LG 7.4 cu. ft. Vented Stackable Electric Dryer in White with Sensor Dry Technology # DLE3470W



Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Notes & Specifications

Sheet Title

Owner: Tioga County
Project Address: 247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: 12" = 1'-0"

Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

A002

FRONT, SIDE, AND REAR PORCH (A30-A32)

- A30 FRONT PORCH**
- Removals
 - Structural/Architectural
 - Remove entire front porch, from roof down to floor framing.
 - Preserve/salvage existing decorative post capitals for re-use.
 - Visually inspect and assess existing floor framing and foundations, and replace any/all deteriorated and/or damaged strual elements.
 - Remove existing wood steps/railing.
 - Remove existing lattice/skirting around perimeter of porch, below deck surface.
 - Electrical
 - Remove any/all electrical receptacles, switches, branch wiring junction boxes, lighting fixtures.
 - Structural
 - Contractor shall assess the existing floor framing to identify any deterioration, rot, or structural compromise to the framing members.
 - Floor Framing: Contractor shall provide and install structural reinforcement as necessary to ensure the stability and support of the existing structure.
 - Wood Posts: Contractor to replace existing posts with new pressure-treated material, to match existing in size(s).
 - Contractor to provide an "Allowance" for any required structural reinforcements. (Include \$7,500.00 Allowance in the base bid.) The Contractor shall assess and complete all labor, materials, equipment, and services required for the structural reinforcement of the existing floor framing and wood posts at the existing front porch.
 - Provide new Roof/Ceiling Assembly, as indicated on the Drawings.
 - Architectural
 - Exterior Decking
 - Severe Weather 1-1/4-in x 6-in x 12-ft Premium Southern yellow pine Above ground Pressure Treated Lumber (Recommended for Deck Boards)
 - Provide Thompson's WaterSeal Signature Series - Clear Wood Sealer and waterproofing protection
 - Exterior Finish/Trim/Accessories
 - Provide 4" vinyl siding (outside corner post, inside corner trim, j-channel and other trim accessories), at knee-wall Railing.
 - Color TBD, by Owner or Architect.
 - Provide vinyl beadboard "White" (vertical) paneling at interior side of knee-wall Railing.
 - Provide vinyl beadboard "White" Soffit paneling. All vinyl accessories shall be included with the installation.
 - Prime/Paint all exposed wood beams/posts and column capitals.
 - Provide new 2x wood railing cap. Paint.
 - Provide new black aluminum house number "347"
 - Provide new black metal mail box, location TBD by Owner
 - Gutters
 - Remove all existing gutters and downspouts.
 - Install new aluminum seamless gutters and downspouts.
 - Include all manufacturer recommended accessories, mounting hardware, fasteners, etc.
 - Color TBD, by Owner or Architect.
 - Gutters to include "diverter" type devices at defined valley locations.
 - Electrical
 - Electrical to be updated to meet current electrical code standards
 - Provide new receptacles, switches, lighting, junction boxes, branch wiring, as indicated on the Drawings.
 - Exterior Fixture: Hampton Bay Wickford 15.4 in. 1-Light Weathered Bronze Hardwired Outdoor Wall Light Lantern Porch Sconce with Clear Glass (2-Pack) # 7072-2RT
 - See Electrical drawings for more information.
 - New Stair/Railings

- A31 SIDE PORCH**
- Removals
 - Architectural
 - Remove existing wood posts.
 - Temporarily support existing porch roof, to remain. Remove existing knee-wall railing.
 - Remove existing knee-wall guardrailings.
 - Existing concrete slab/foundation to remain.
 - Existing concrete steps to remain
 - Electrical
 - Remove any/all electrical receptacles, switches, branch wiring junction boxes, lighting fixtures.
 - Provide recessed lighting as indicated on the Drawings.
 - Architectural
 - Porch foundation/slab
 - Restore (patch & repair) existing concrete to have a smooth & uniform appearance.
 - Paint restored concrete surfaces to finish.
 - Re-build knee wall railing & railing cap, to match existing.
 - Exterior Finish/Trim/Accessories
 - Provide 4" vinyl siding (outside corner post, inside corner trim, j-channel and other trim accessories), at exterior side of knee-wall Railing.
 - Color TBD, by Owner or Architect.
 - Provide vinyl beadboard "White" (vertical) paneling at interior side of knee-wall Railing.
 - Provide vinyl beadboard "White" Soffit paneling. All vinyl accessories shall be included with the installation.
 - Provide new 2x treated wood railing cap. Paint.
 - Prime/Paint all exposed wood beams/posts and column capitals.
 - Gutters
 - Install new white aluminum seamless gutters and downspouts, as indicated on the Drawings.
 - Include all manufacturer recommended accessories, mounting hardware, fasteners, etc.
 - Low-slope roofing
 - Product manufactured by CertainTeed with 25 year warranty system
 - Base/Ply Sheet: Flintlastic SA MidPly (SA)
 - Cap Sheet: Flintlastic SA Cap (CoolStar)
 - Install wall and/or step flashing, where needed
 - Furnish and install new 1" aluminum metal edge around perimeter.
 - Install according to manufacturer's specifications.
 - Color TBD by Owner.

- A32 REAR PORCH**
- Structural
 - 16" dia concrete sono-tube, reinforcements and galvanized beam/ post caps
 - P.T. perimeter beam(s) and floor joist, as indicated on the drawings
 - Roof beam(s) and roof rafters, as indicated on the drawings
 - Architectural
 - Decking
 - Severe Weather 1-1/4-in x 6-in x 12-ft Premium Southern yellow pine Above ground Pressure Treated Lumber (Recommended for Deck Boards)
 - Provide Thompson's WaterSeal Signature Series - Clear Wood Sealer and waterproofing protection
 - Exterior Finish/Trim/Accessories
 - Provide vinyl beadboard "White" Soffit paneling. All vinyl accessories shall be included with the installation.
 - Prime/Paint all exposed wood beams/posts/rim boards/etc.
 - Exterior Fixture: Hampton Bay Wickford 15.4 in. 1-Light Weathered Bronze Hardwired Outdoor Wall Light Lantern Porch Sconce with Clear Glass (2-Pack) # 7072-2RT
 - New Stair/Railings
 - Gutters
 - Install new white aluminum seamless gutters and downspouts.
 - Include all manufacturer recommended accessories, mounting hardware, fasteners, etc.
 - Gutters to include "diverter" type devices at defined valley locations.
 - Low-slope roofing
 - Product manufactured by CertainTeed with 25 year warranty system
 - Base/Ply Sheet: Flintlastic SA MidPly (SA)
 - Cap Sheet: Flintlastic SA Cap (CoolStar)
 - Install wall and/or step flashing, where needed
 - Furnish and install new 1" aluminum metal edge around perimeter.
 - Install according to manufacturer's specifications.
 - Color TBD by Owner.

EXTERIOR (A40-A44)

- A40 EXTERIOR SIDING**
- Cutters
 - Remove existing gutters, downspouts, associated trim and hardware.
 - Install new white aluminum seamless gutters and downspouts.
 - Include all manufacturer recommended accessories, mounting hardware, fasteners, etc.
 - Gutters to include "diverter" type devices at defined valley locations.
 - Exterior Siding
 - Remove existing vinyl and wood siding, along with associated trim, hardware and wood trim, exposing the underlying wall sheathing.
 - Conceal j-molding
 - Provide 4" "White" vinyl siding (outside corner post, inside corner trim, j-channel and other trim accessories)
 - Provide 3-1/2" "White" CertainTeed Lineal - 3-1/2" trim at each window and door to receive vinyl siding.
 - Provide blown-in insulation
 - Exterior soffits and fascia
 - All existing soffits and fascia to be removed.
 - Replace with vinyl "White" Soffit materials. All vinyl accessories shall be included with the installation.
 - Replace, patch and repair existing wood fascia board with material to match existing. Provide new aluminum fascia wrap.
 - ADD ALTERNATE NO. 01
 - Provide James Hardie "Hardie-Plank" lap siding and solid vinyl trim in lieu of Vinyl Siding.

- A41 EXTERIOR DOORS**
- Existing Front Porch/ Living Room (south elevation)
 - Patch, repair, and restore existing front entry door including trim
 - Lockset hardware to be: *Schlage #60vcam619acc satin nickel* (or equivalent), hinges to match.
 - Keyed to match all exterior doors.
 - Provide new 1x4 "primed" trim
 - Prep, and apply final paint finish.
 - All trim color to be "White"
 - Existing Side Porch (east elevation)
 - Patch, repair, and restore side entry door including trim.
 - Lockset hardware to be: *Schlage #60vcam619acc satin nickel* (or equivalent), hinges to match.
 - Keyed to match all exterior doors.
 - Provide new 1x4 "primed" trim
 - Prep, and apply final paint finish.
 - All trim color to be "White"
 - New Rear Porch (north elevation)
 - New Entry Door 101. See Door schedule for information.
 - Lockset hardware to be: *Schlage #60vcam619acc satin nickel* (or equivalent), hinges to match.
 - Keyed to match all exterior doors.
 - Provide new 1x4 "primed" trim
 - Prep, and apply final paint finish.
 - All trim color to be "White"

- A42 WINDOWS**
- Remove all existing windows, trim, blocking and associated hardware.
 - Prep rough opening for new window and frame.
 - Provide new replacement windows and vinyl exterior trim (see Floor Plans, Exterior Elevations & Window Schedule)
 - Provide 3-1/2" "White" CertainTeed Lineal - 3-1/2" trim at each window and door to receive vinyl siding.

- A43 MAIN ROOF** (above second story)
- Roof Demolition
 - Remove entire single-slope roofing, at the main roof, above the second storey, as indicated on the Drawings.
 - Architectural
 - Roofing:
 - Evaluate existing roof decking, after existing roofing removals.
 - Replace any deteriorated decking with like materials.
 - Remove/Replace all flashings.
 - Install new 2" rigid insulation (non-tapered) over roof decking.
 - Install new 60mil EPDM Roofing Membrane.
 - Install according to manufacturer's specifications.
 - Color to be Black.
 - Install new pipe boots where needed.
 - Install flashing at new/existing plumbing vents.
 - Chimney:
 - Restore existing brick chimney with like materials (brick)
 - Install an aluminum chimney cap
 - Exterior Fascias/Soffits:
 - All existing wood soffits to be removed and replace with vinyl "White" Soffit materials. All vinyl accessories shall be included with the installation.
 - Replace, patch and repair existing wood fascia board, with material to match existing. Provide new aluminum fascia wrap.
 - Install aluminum flashing at chimney/roof.
 - Gutters:
 - Remove all existing gutters and downspouts.
 - Install new aluminum seamless gutters and downspouts.
 - Include all manufacturer recommended accessories, mounting hardware, fasteners, etc.
 - Color TBD By Owner.

- A44 EXTERIOR LIGHTING**
- Install new exterior lighting, as indicated on the drawings.
 - Exterior Fixture: Hampton Bay Wickford 15.4 in. 1-Light Weathered Bronze Hardwired Outdoor Wall Light Lantern Porch Sconce with Clear Glass (2-Pack) # 7072-2RT
 - Side Porch Light Fixture: Loridan Square 3-Light Black Outdoor Flush Mount Ceiling Light Fixture with Clear Water Glass # 302361085

- A45 EXTERIOR DECORATIVE ELEMENTS**
- Roof Brackets:
 - All existing decorative wood roof brackets shall be evaluated for restoration. Suitable existing brackets shall be restored, and re-painted.
 - Deteriorated brackets shall be replaced in-kind, and painted.
 - New brackets, to match existing, shall be installed in areas of missing brackets, and painted.
 - Column Capitals:
 - All new/replacement exterior porch roof columns shall receive new column capitals to match existing, painted

SITE WORK (A50-A53)

- A50 SITE WORK**
- Remove all landscaping, planting, vegetation, shrubs, over grown weeds, fencing, etc. in the entire yard and adjacent to the foundations.
 - Site work to include any finish grading around structure to maintain positive pitch away from foundation.
 - Site must be maintained during construction, to control erosion/runoff. Site work may not affect neighboring properties.
 - Yard mowing and trimming must be maintained during construction.
 - Contractor to provide topsoil & re-seeding/straw at all disturbed areas, once sitework has been completed.
 - Contractor to provide water to newly planted areas to maintain and promote grass growth until turnover to the owner.
 - Site Drainage: All downspouts shall be equipped with an extension so the water can be diverted away from the foundation.

- A51 FOUNDATIONS (BOW WINDOWS)**
- Install new 16" shallow footings/foundations at two Bow Windows (East and West sides), and new 6x6 treated posts to re-support existing cantilevered construction.
 - Skirt area between bottom of bow windows and grade with miscellaneous wood framing and wood lattice/trim (paint)
 - See Drawings for detail and more information.

- A52 DRIVEWAY**
- Prep site for new asphalt/blacktop driveway
 - See Drawings more for more information.
 - Driveway area to be graded and pitched for appropriate drainage.
 - New pavement section:
 - 3/4" asphalt paving (top course) (NYSDOT approved material)
 - 1-1/2" asphalt paving (binder course) (NYSDOT approved material)
 - 8" item 4 sub base course compacted to 95% (NYSDOT approved material)
 - GEOGRID - Tensar TriAx TX140 (or equivalent)
 - Proof roll or compact existing subgrade material to 95% compaction

- A53 SIDEWALK**
- Build a new concrete sidewalk connecting the Front Porch to the public sidewalk (Main Street).
 - 5" reinforced concrete sidewalk w/ WWM on 6" compacted crushed stone base, concrete mix to be 4000 psi, typical (Concrete walkway - saw cut CJ @ 5'-0" o.c., typical)
 - Build a new concrete sidewalk connecting the Side Porch to the public sidewalk (Spencer Ave).
 - 5" reinforced concrete sidewalk w/ WWM on 6" compacted crushed stone base, concrete mix to be 4000 psi, typical (Concrete walkway - saw cut CJ @ 5'-0" o.c., typical)
 - Build a new concrete sidewalk connecting the Rear Porch to the public sidewalk (Spencer Ave).
 - 5" reinforced concrete sidewalk w/ WWM on 6" compacted crushed stone base, concrete mix to be 4000 psi, typical (Concrete walkway - saw cut CJ @ 5'-0" o.c., typical)

Exterior Color Combination



Field Color: Benjamin Moore - Gloucester Sage HC-100
Accent Color: Benjamin Moore - Cottage Red HC-184
Accent Color: Benjamin Moore - Carrington Beige HC-93

Interior Colors



Trim/Molding/Casework/Doors/Windows/Railings Color: Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss
Ceiling Color: Benjamin Moore - Chantilly Lace OC-65 - Sheen: Flat
Parlor Wainscoting/Parlor Pocket Door/Powder Room Walls: Benjamin Moore - Whitall Brown HC-69 - Sheen: Satin



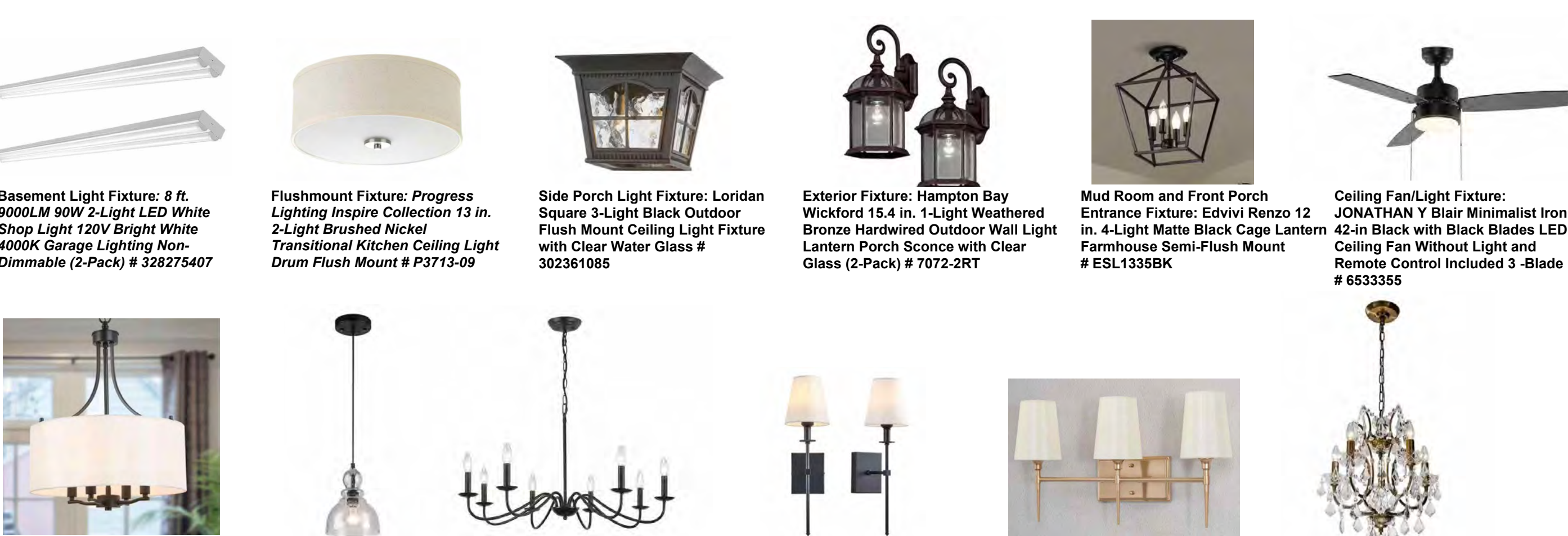
Wall Color: Benjamin Moore - Edgecomb Gray HC-173 - Sheen: Eggshell
Foyer/Hall/Stair 01/Stair 02 Wall Color: Benjamin Moore - Henderson Buff HC-15 - Sheen: Eggshell
Sitting Room/Bathroom 01/Bathroom 02 Wall Color: Benjamin Moore - Boothbay Gray HC-165 - Sheen: Eggshell

Fixtures



Kitchen Sink: KRAUS Dex 33 Undermount 16 Gauge Stainless Steel Single Bowl Kitchen Sink # KA1US3B
Kitchen Faucet: Kohler Capilano Single-Handle Pull-Down Sprayer Kitchen Faucet with Boost Technology in Vibrant Stainless # K-R24214-SD-VS
Kitchen Cabinet Drawer Pulls: Liberty Cup Dual Mount 2-1/2 or 3 in. (64/76 mm) Classic Satin Nickel Cabinet Drawer Cup Pull # PN1053H-BSN-C
Kitchen Cabinet Knobs: Liberty Garrett 1-1/4 in. (32 mm) Classic Satin Nickel Round Cabinet Knob # P50154H-STN-C
Mud Room Coat Hooks: Liberty 4-3/8 in. Satin Nickel Beveled Square Wall Hook # B31094C-SN-C
Vanity Cabinet and Sink: Home Decorators Collection Terryn 72 in. Double Sink White Bath Vanity with White Engineered Stone Top (Assembled) # TJ-TNV720WH
Vanity and Sink: Home Decorators Collection Terryn 37 in. Single Sink White Bath Vanity with Engineered White Marble Top (Assembled) # TJ02-11V3720WH
Bathroom Faucet: Kohler Capilano 8 in. Widespread 2-Handle Bathroom Faucet in Vibrant Brushed Nickel # K-R30582-4D-BN
Mirror: KeonJinn 24 in. W x 36 in. H Framed Brushed Nickel Mirrors for Bathroom Wall Beveled Mirror Bathroom Vanity Mirror Over Sink # HD-XB-6191-BN
Shower Faucet: Kohler Capilano Single-Handle 3-Spray Tub and Shower Faucet in Vibrant Brushed Nickel (Valve Included) # K-R26930-4G-BN
Toilet: American Standard Edgemere White Elongated Chair height 12-in Rough-In WaterSense 1.28 GPF Soft Close 2-piece Toilet # 204AA105.020
Toilet Paper Holder: Kohler Capilano Toilet Paper Holder in Vibrant Brushed Nickel # K-R26683-BN
Towel Ring: Kohler Capilano Towel Ring in Vibrant Brushed Nickel # K-R26684-BN
Hooks: Kohler Capilano Robe Hook in Vibrant Brushed Nickel # K-R26685-BN
Towel Bar: Kohler Capilano 24 in. Towel Bar in Vibrant Brushed Nickel # K-R26681-BN

Lighting



Basement Light Fixture: 8 ft. 9000LM 90W 2-Light LED White Shop Light 120V Bright White 4000K Garage Lighting Non-Dimmable (2-Pack) # 328275407
Flushmount Fixture: Progress Lighting Inspire Collection 13 in. 2-Light Brushed Nickel Transitional Kitchen Ceiling Light Drum Flush Mount # P3713-09
Side Porch Light Fixture: Loridan Square 3-Light Black Outdoor Flush Mount Ceiling Light Fixture with Clear Water Glass # 302361085
Exterior Fixture: Hampton Bay Wickford 15.4 in. 1-Light Weathered Bronze Hardwired Outdoor Wall Light Lantern Porch Sconce with Clear Glass (2-Pack) # 7072-2RT
Mud Room and Front Porch Entrance Fixture: Edvivi Renzo 12 in. 4-Light Matte Black Cage Lantern Farmhouse Semi-Flush Mount Light with Fabric Shades # ESL1335BK
Ceiling Fan/Light Fixture: JONATHAN Y Blair Minimalist Iron 42-in Black with Black Blades LED Ceiling Fan Without Light and Remote Control Included 3 -Blade # 6533355
Living Room Light Fixture: LNC 4-Light Modern Black Chandelier Drum Candlestick Island Chandelier Pendant Light with Fabric Shade # EEUUZ2HD13977UT
Kitchen Pendants: Westinghouse 1-Light Oil Rubbed Bronze Adjustable Mini Pendant with Hand-Blown Clear Seeded Glass # 6100800
Dining Light Fixture: ZJVAIVE 8-Light Classic Matte Black Candle Style Chandelier for Kitchen Island Dining Room with No Bulbs Included 30.71in # ZJ-D0131-8-B
Dining Room Sconces: GoYeel Set of 2 Black Indoor Industrial Wall Sconces with White Fabric Shade, Modern Wall-Mounted Light Fixture for Bedroom # WS29BK-02
Light Fixture (Above Vanities): LNC Modern Gold Bathroom Vanity Light 23 in. 3-Light Mid-century Arched Mirror Sconce Bath Vanity Light with Fabric Shades # IZTVQ2HD1403467
Foyer Fixture: ALOA DECOR 18 in. 5-Light Antique Gold Classic/Traditional Crystal Chandelier Glam Lighting Fixture # H7121D50AB05A



Consultant:

Professional Seal:



Renovations + Reconstruction

Notes & Specifications

Sheet Title

OWNER: Tioga County
Project Address: 247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: 12" = 1'-0"

Revisions		
No.	Description	Date

Date: 06/25/2026

Sheet Number

A003

Consultant:

Professional Seal:



Renovations + Reconstruction
Second Level and Roof
Demolition Plans

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

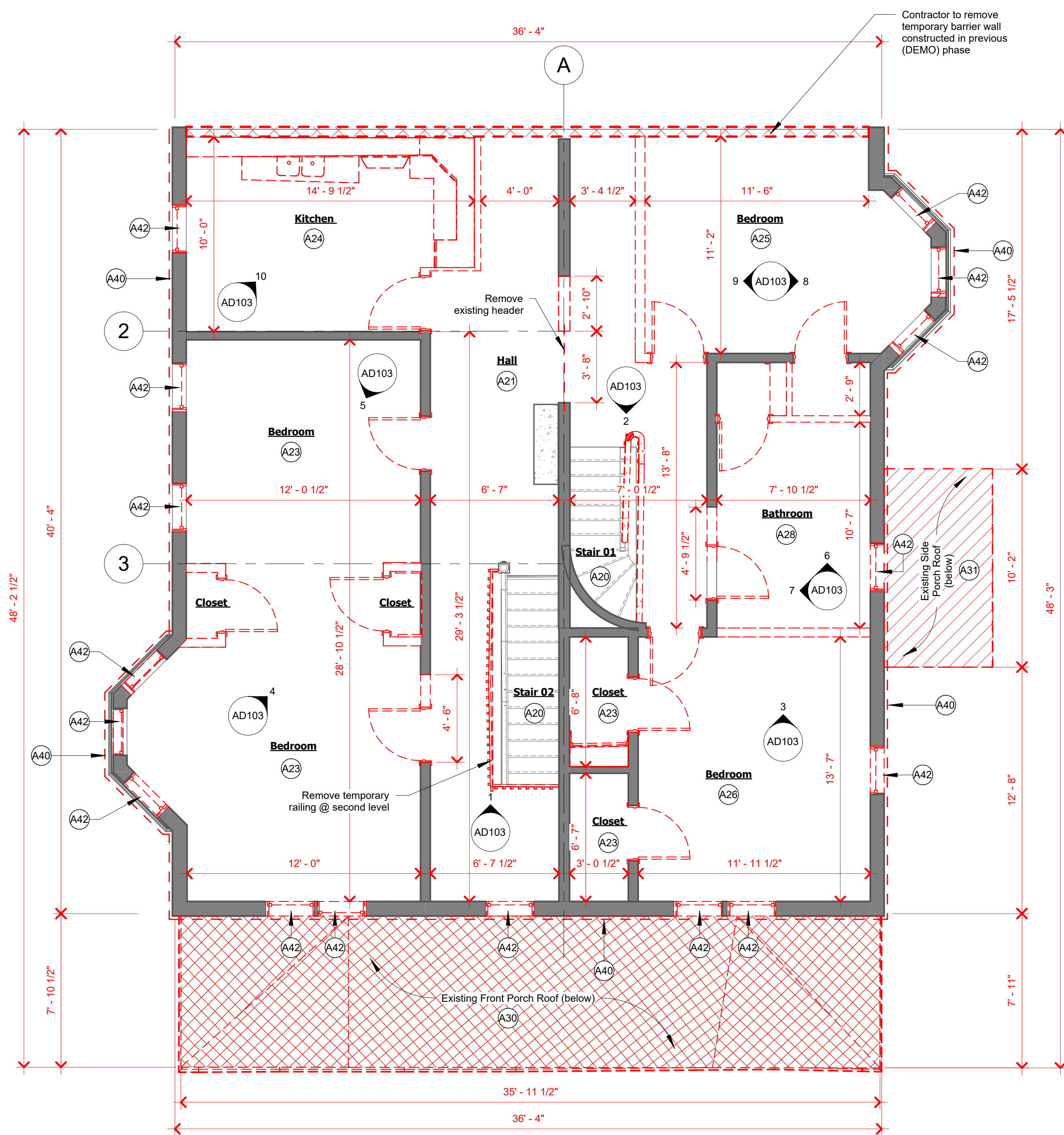
Scale: As indicated

Revisions		
No.	Description	Date

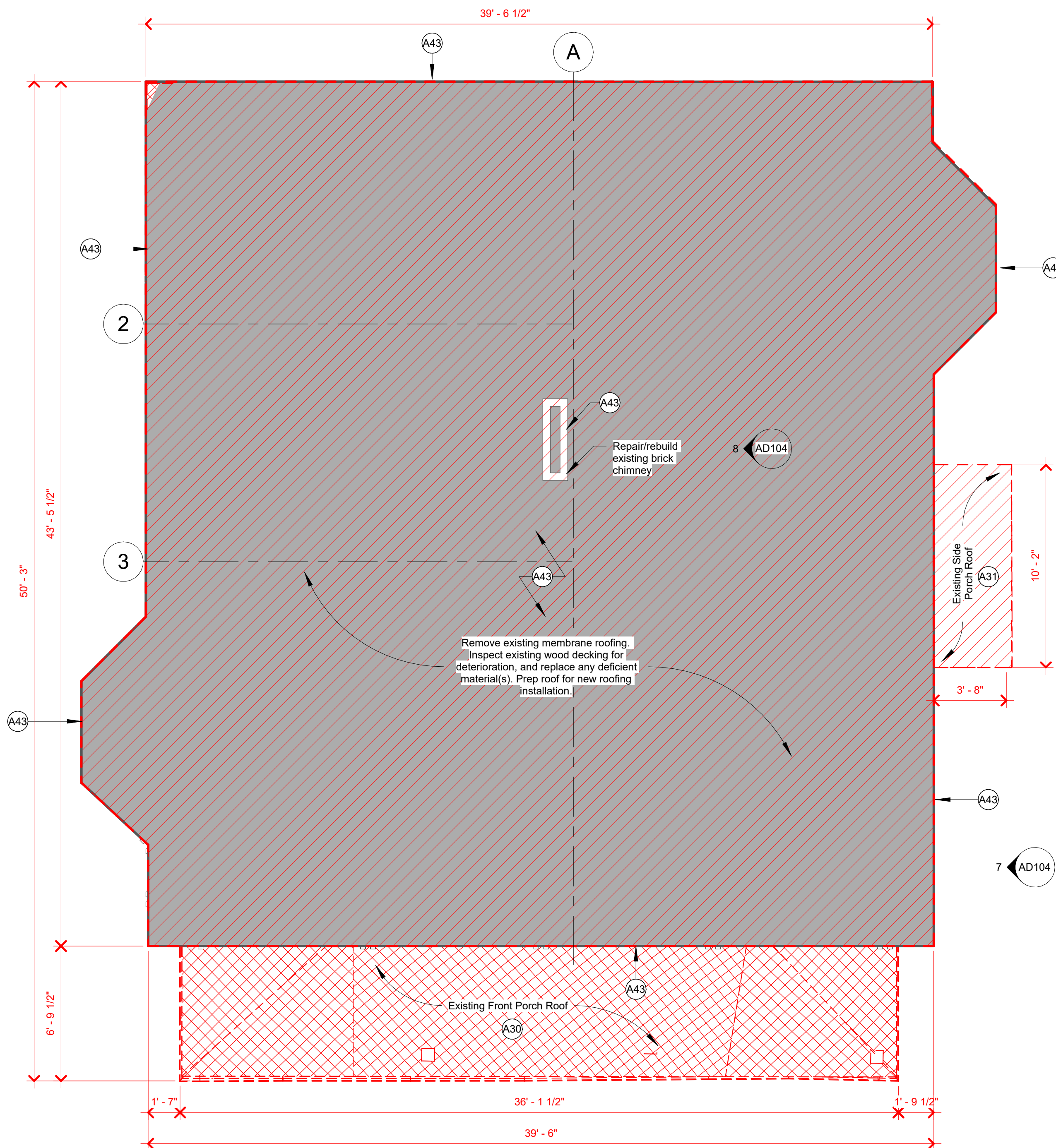
Date: 06/25/2026

Sheet Number

AD101



1 Second Level Demolition Floor Plan
1/4" = 1'-0"



2 Roof Demolition Plan
1/4" = 1'-0"



GENERAL NOTES

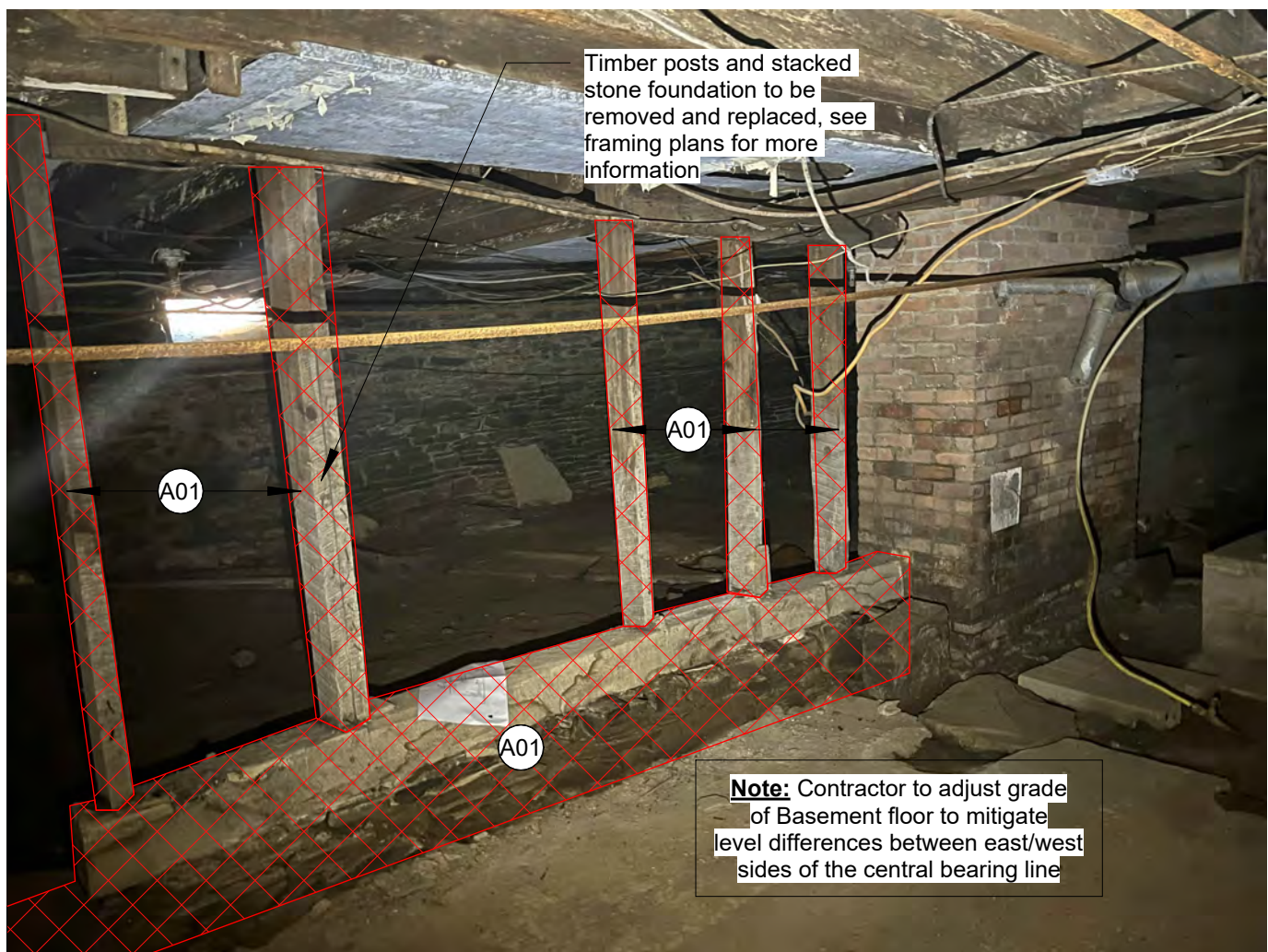
- Dashed lines represent:**
- Wall Removal
 - Door Removal
 - Window Removal
- Hatched area represents overall limits of floor/ceiling/roof demolition work, unless otherwise noted.**
- Shaded Elements represent:**
- Existing Wall
 - Existing Door
 - Existing Window
- Survey the existing conditions affected by the Work, and determine the extent of selective removals required.
 - Notify the Architect of any discrepancies before commencing selective removal Work.
 - Contractor to verify all dimensions, alignments, and other drawing representations of the existing conditions prior to commencing any Work.
 - Protect existing building to remain from damage, soiling, dust, etc. while performing the selective removal Work.
 - Where floor finishes are noted to be removed, remove associated adhesives, setting beds, etc.
 - Remove, replace, patch and repair existing construction to remain that is adjacent to removed elements with like materials to match existing conditions.
 - Remove loose paint and miscellaneous incidental objects from walls and ceilings at areas within the scope of work.
 - Conduct selective removal work and remove debris from the work site, to insure minimum interference with street, walks, driveway, and adjacent properties.
 - Locate dumpsters on the site per the Owner/ architect directions. Maintain clearances from the adjacent property line(s).
 - The Contractor is to protect the existing occupied spaces to remain with plywood sheathing, 6 mil plastic with taped joints at openings for doors, windows, etc. Maintain the building in watertight condition during the construction. Repair/replace items damaged during construction.
 - Do not remove items which jeopardize the structural integrity of the building. Notify the Owner/ Architect immediately.
 - If unforeseen conditions or deteriorated building components are encountered, notify the Owner/ Architect immediately.
 - Coordinate all removal work with Site/Civil drawings.
 - Coordinate all removal work with Abatement, Structural, Mechanical, Electrical, Plumbing drawings.
 - Maintain all building exits and exit access while performing the Work.

General Note

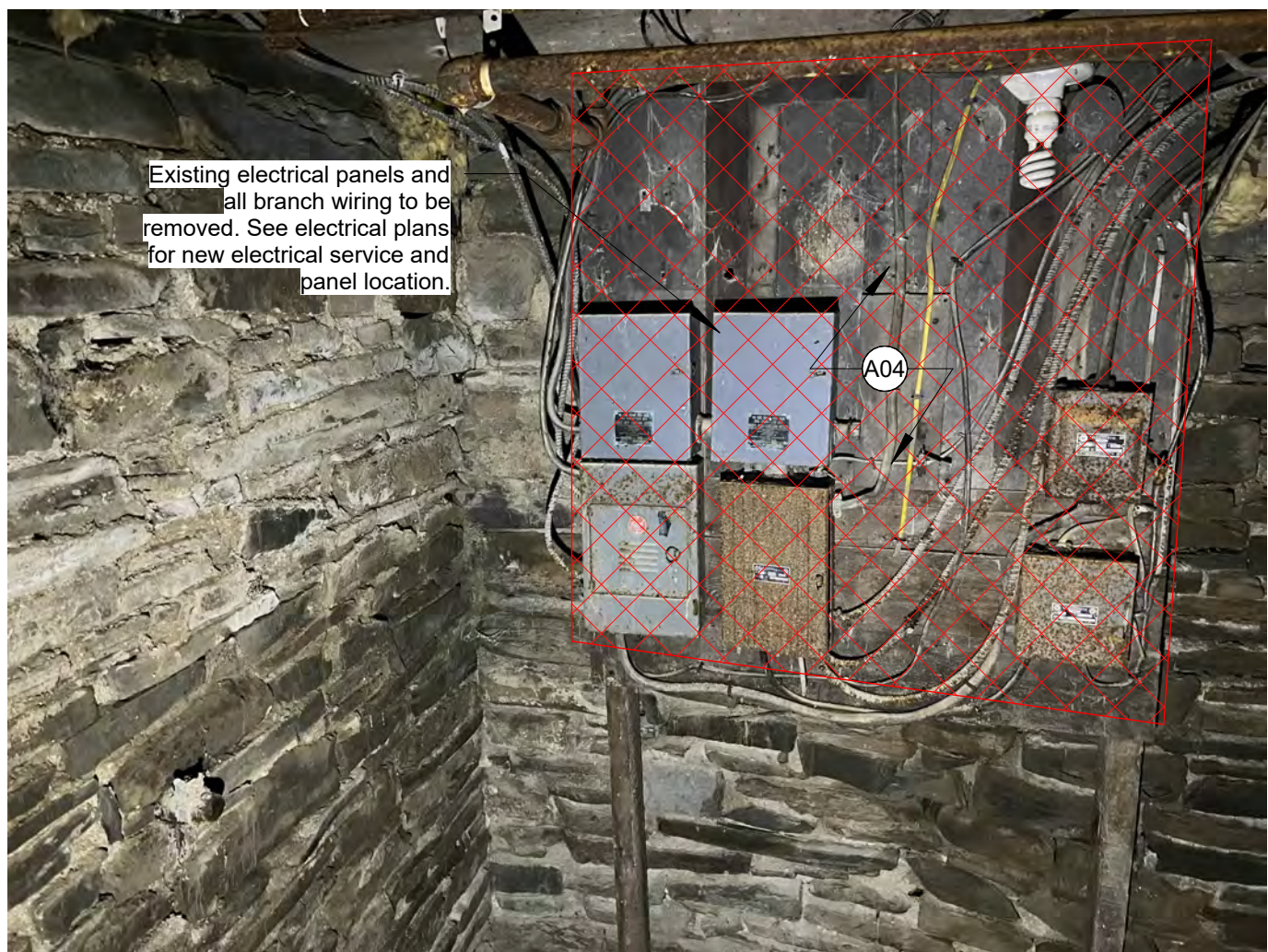
- Refer to **A001, A002, & A003** for specific information and specs regarding each room/space.
- Refer to Drawings **A001, A002, & A003** for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
 - All MEP equipment, fixtures and infrastructure to be removed in their entirety

Demolition General Notes:

- All wall finishes/substrates shall be removed, ByOthers
- All wall/window/door trim shall be removed ByOthers, and salvaged/catalogued for re-installation as part of this Contract
- All ceiling finishes/substrates shall be removed ByOthers



1 Basement Existing Photo 01
NOT TO SCALE



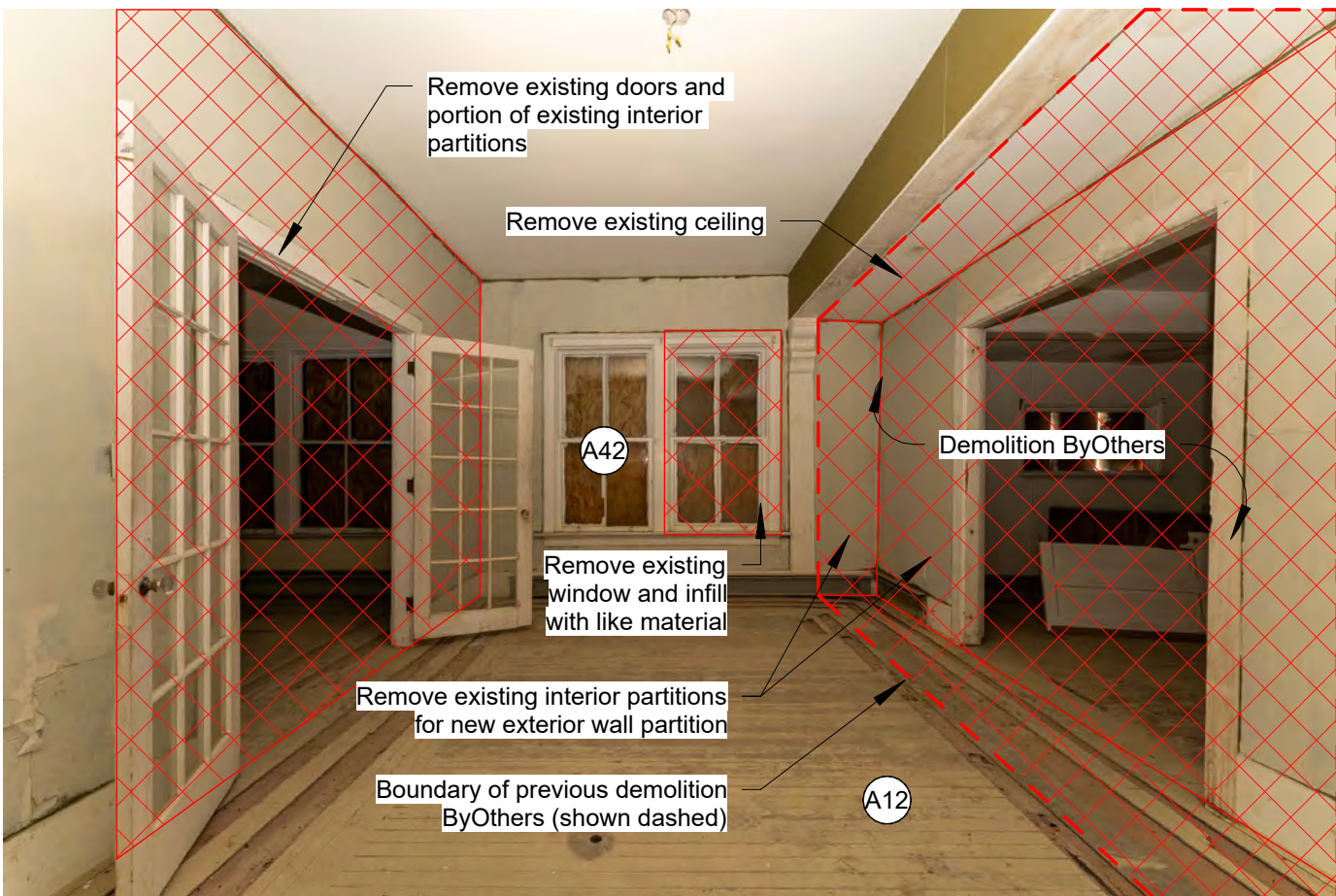
2 Basement Existing Photo 02
NOT TO SCALE



3 Existing Front Porch Entry Door
NOT TO SCALE



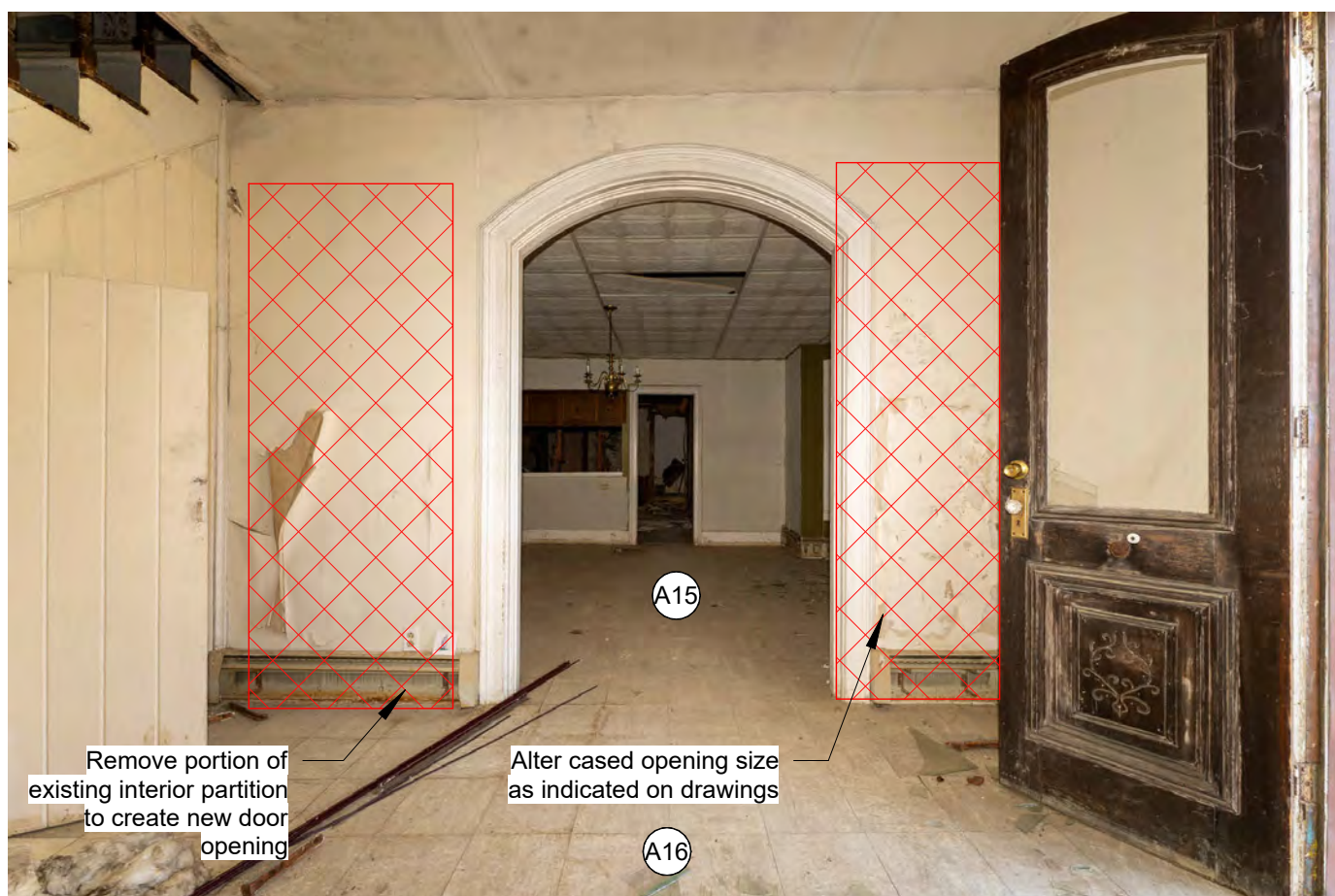
4 Existing Side Porch Entry Door
NOT TO SCALE



5 First Floor Existing Photo 01
NOT TO SCALE



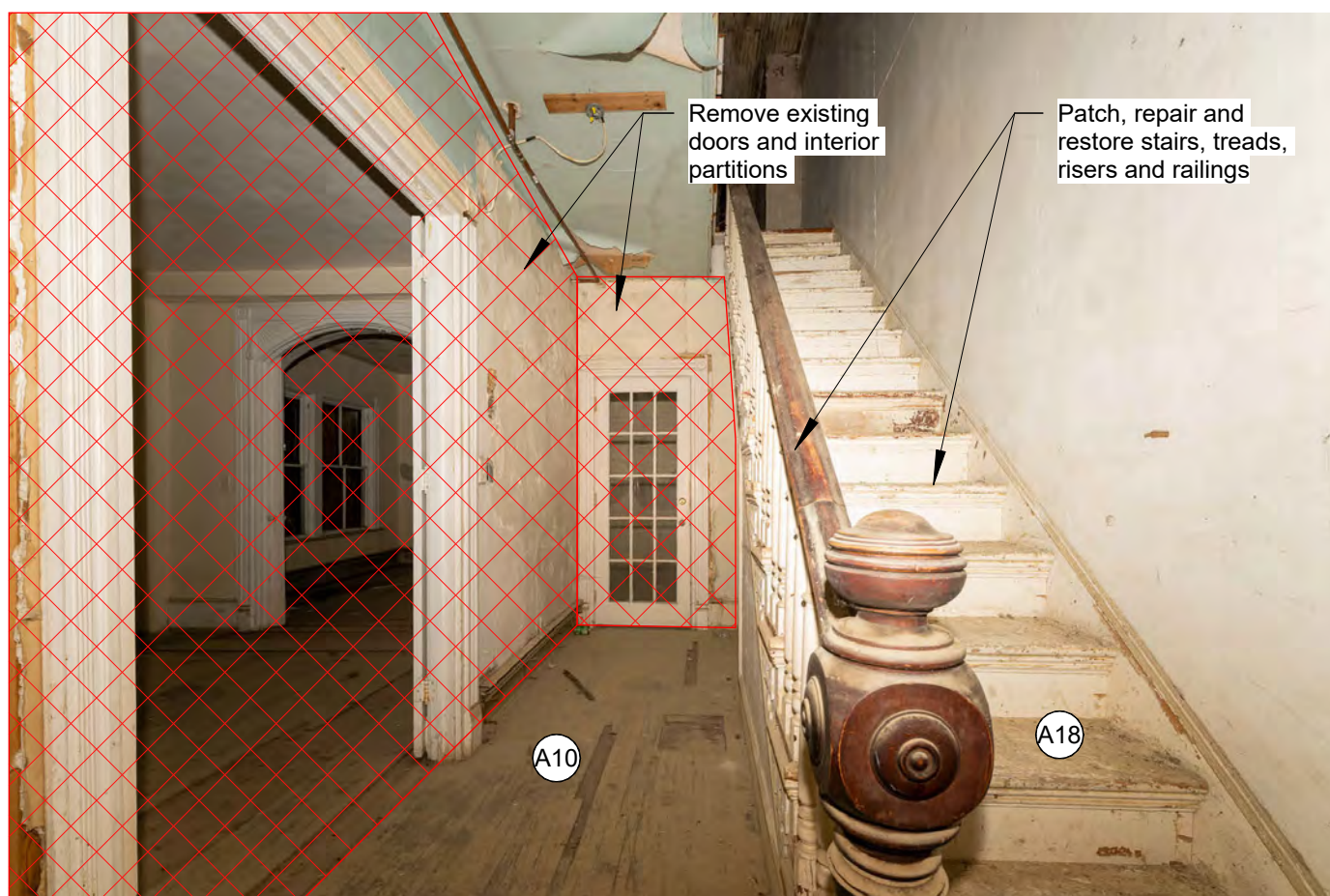
6 First Floor Existing Photo 02
NOT TO SCALE



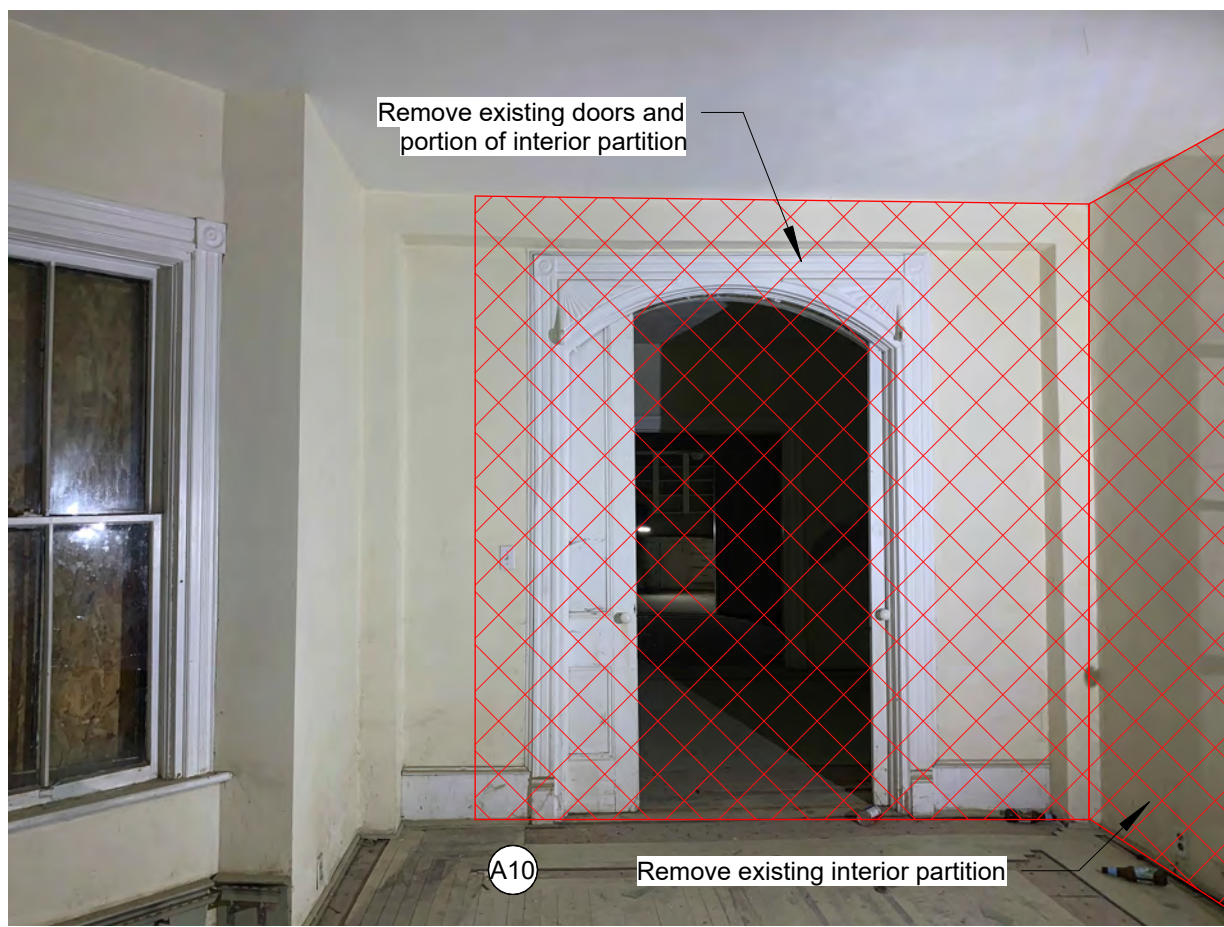
7 First Floor Existing Photo 03
NOT TO SCALE



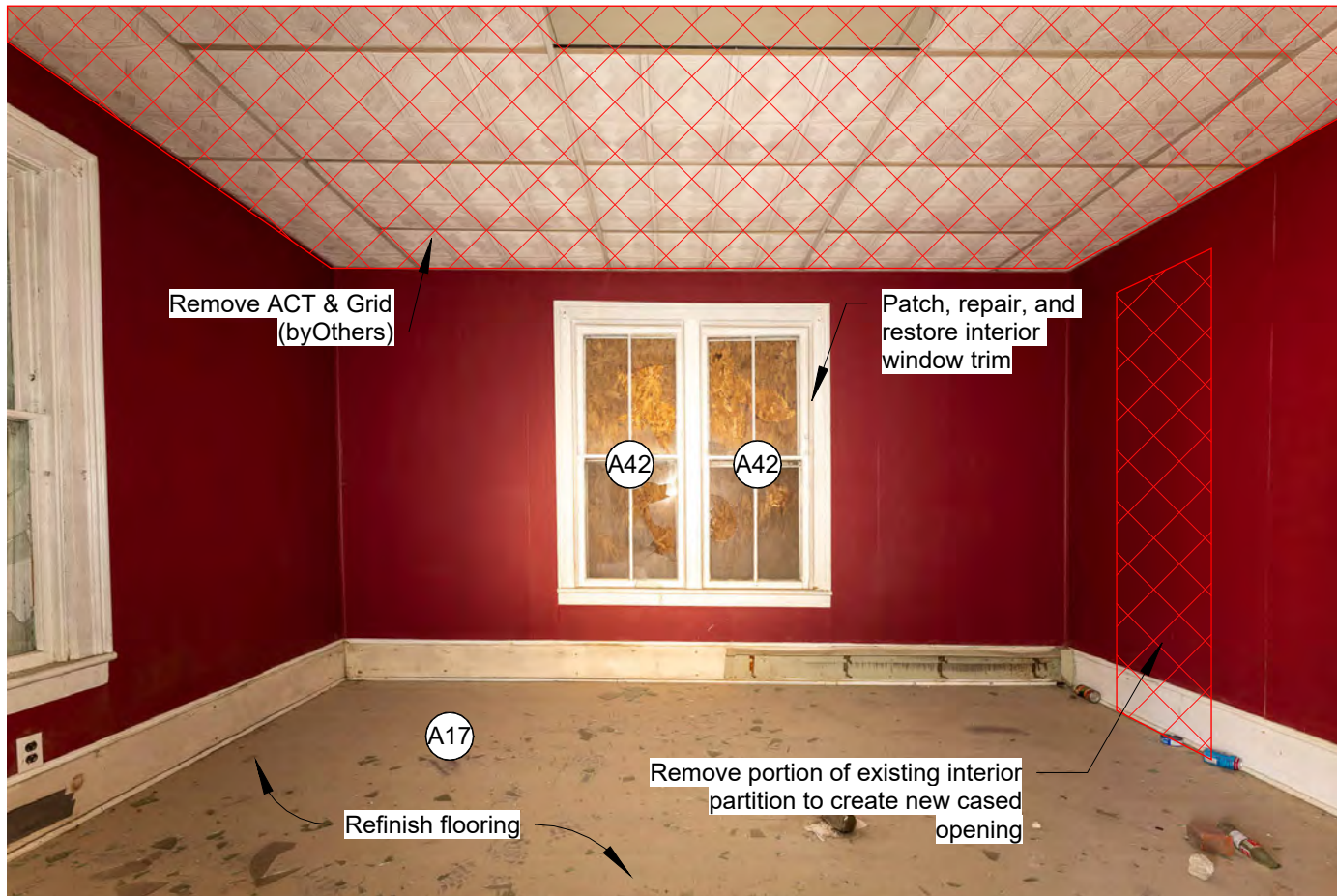
8 First Floor Existing Photo 04
NOT TO SCALE



9 First Floor Existing Photo 05
NOT TO SCALE



10 First Floor Existing Photo 06
NOT TO SCALE



11 First Floor Existing Photo 07
NOT TO SCALE



12 First Floor Existing Photo 08
NOT TO SCALE

General Note

1. Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
2. Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
3. Mechanical, Electrical and Plumbing (MEP) Removals
 - A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

Demolition General Notes:

1. All wall finishes/substrates shall be removed, ByOthers
2. All wall/window/door trim shall be removed ByOthers, and salvaged/catalogued for re-installation as part of this Contract
3. All ceiling finishes/substrates shall be removed ByOthers

Consultant:

Professional Seal:



Renovations + Reconstruction

Existing Photos

Sheet Title

Owner: Tioga County
Project Address: 247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

AD102



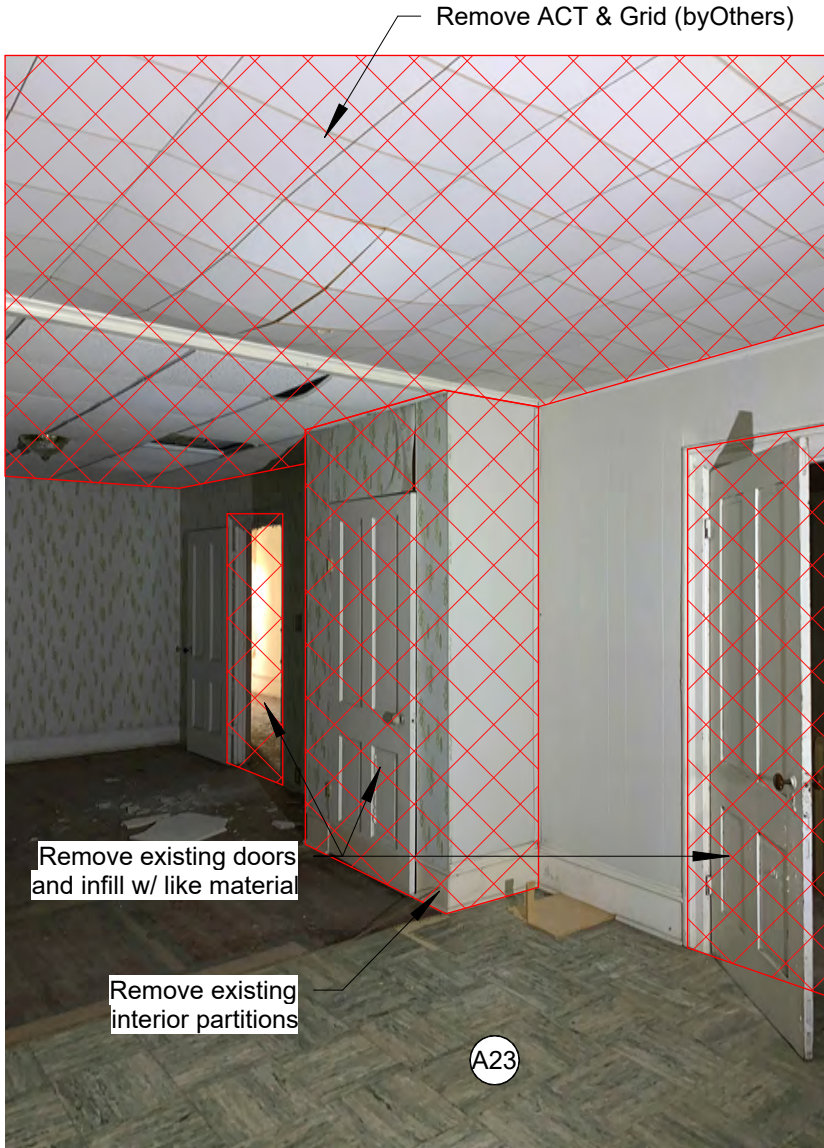
1 Second Floor Existing Photo 01
NOT TO SCALE



2 Second Floor Existing Photo 02
NOT TO SCALE



3 Second Floor Existing Photo 03
NOT TO SCALE



4 Second Floor Existing Photo 04
NOT TO SCALE



5 Second Floor Existing Photo 05
NOT TO SCALE



6 Second Floor Existing Photo 06
NOT TO SCALE



7 Second Floor Existing Photo 07
NOT TO SCALE



8 Second Floor Existing Photo 08
NOT TO SCALE



9 Second Floor Existing Photo 09
NOT TO SCALE



10 Second Floor Existing Photo 10
NOT TO SCALE

General Note

1. Refer to **A001, A002, & A003** for specific information and specs regarding each room/space.
2. Refer to Drawings **A001, A002, & A003** for descriptions for each keyed note indicated on this Drawing.
3. Mechanical, Electrical and Plumbing (MEP) Removals
 - A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

Demolition General Notes:

1. All wall finishes/substrates shall be removed, ByOthers
2. All wall/window/door trim shall be removed ByOthers, and salvaged/catalogued for re-installation as part of this Contract
3. All ceiling finishes/substrates shall be removed ByOthers

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Existing Photos

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

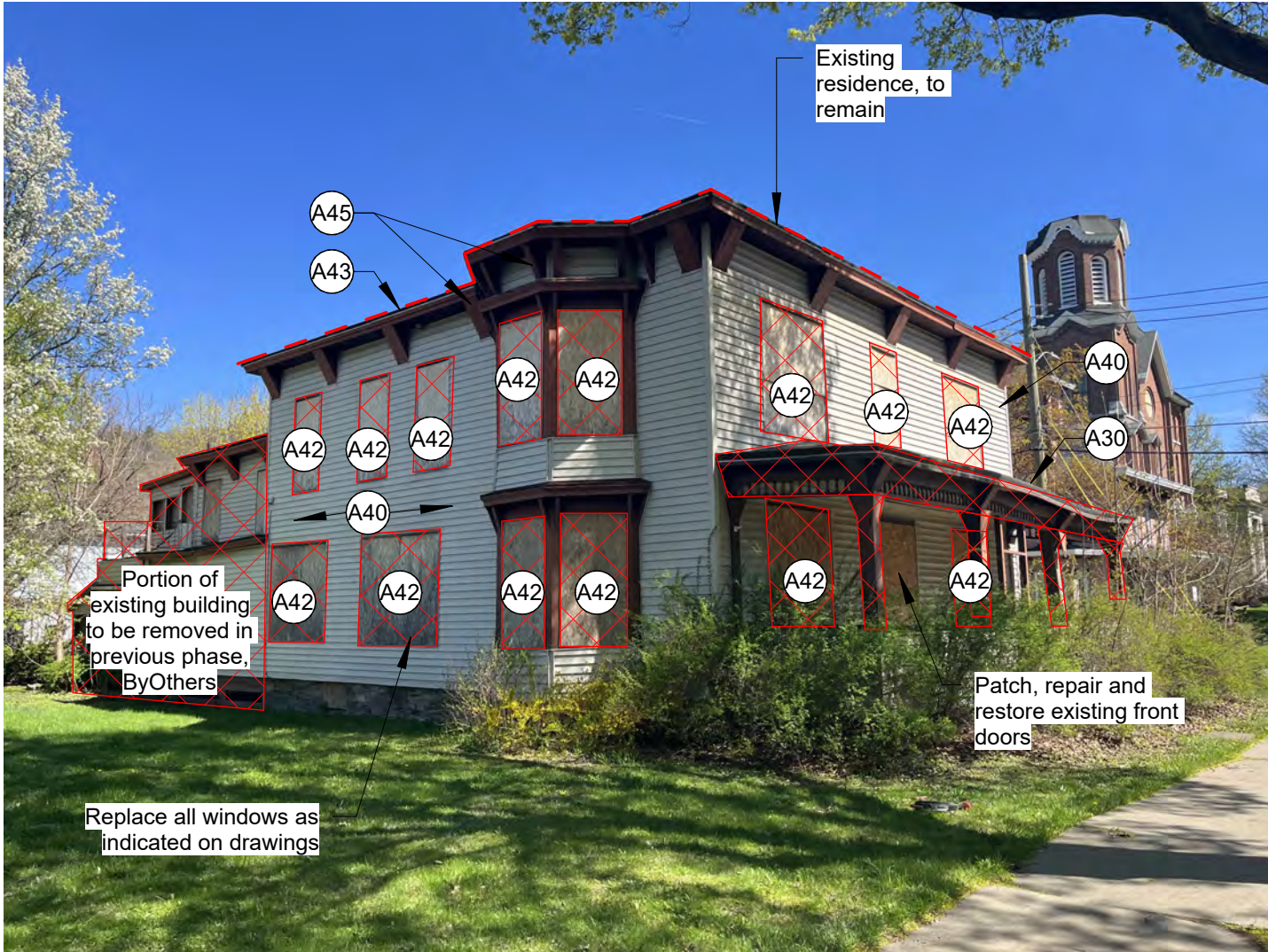
Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

AD103



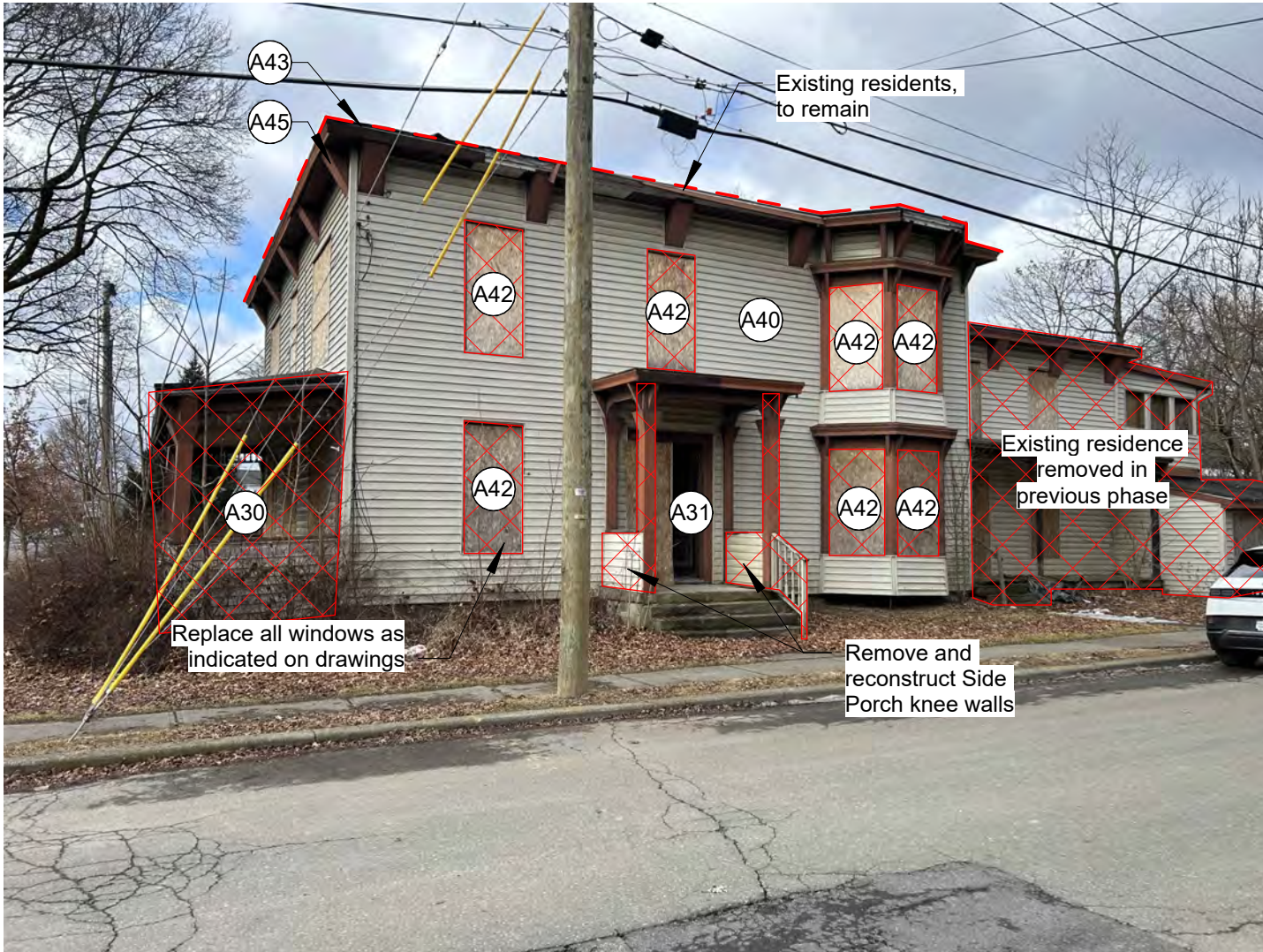
1 Existing Exterior Photo 01
NOT TO SCALE



2 Existing Exterior Photo 02
NOT TO SCALE



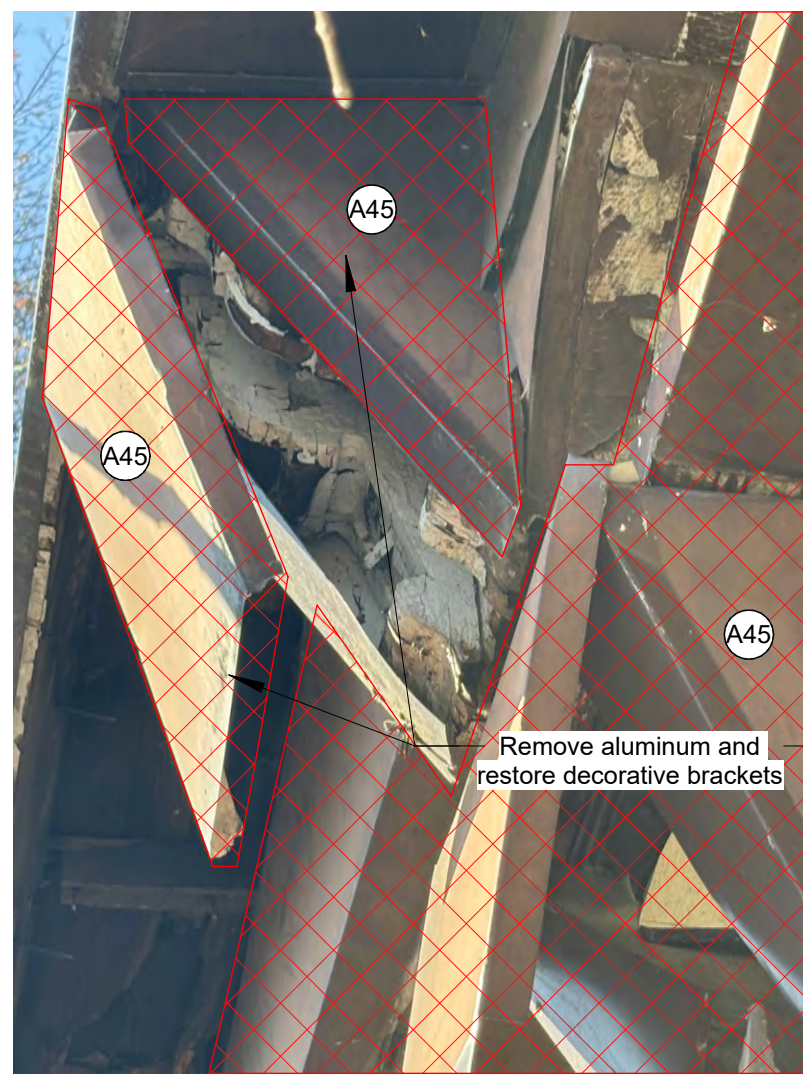
3 Existing Exterior Photo 03
NOT TO SCALE



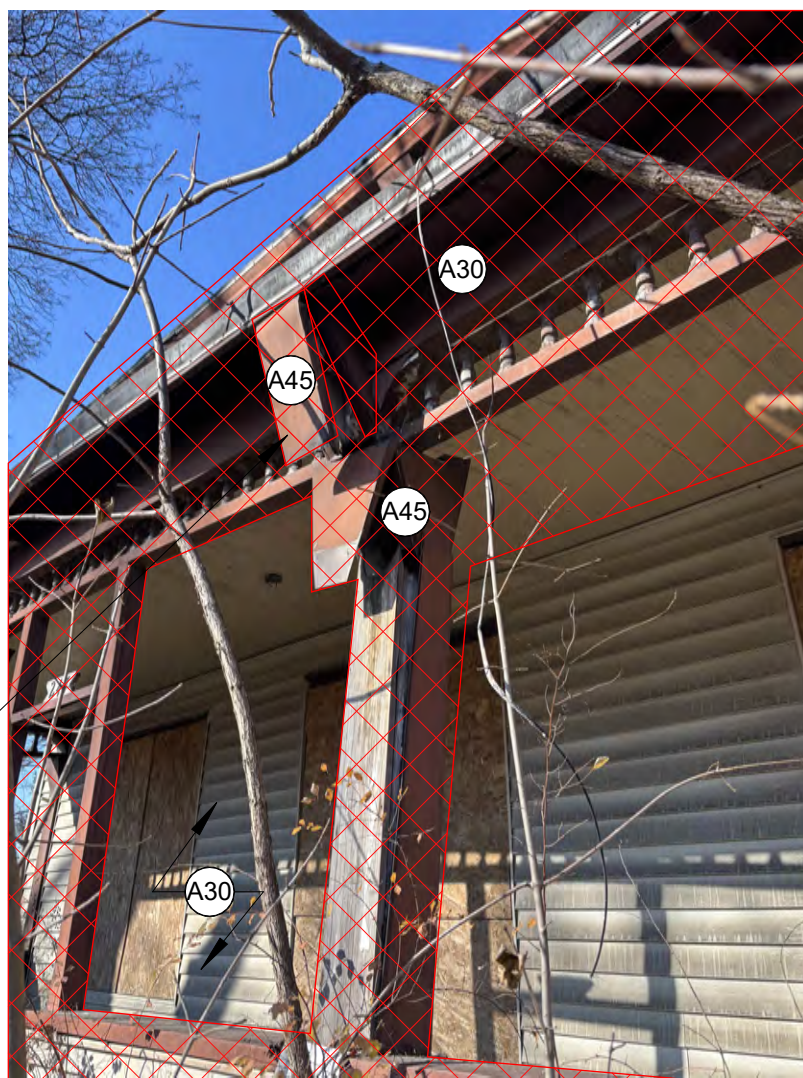
4 Existing Exterior Photo 04
NOT TO SCALE



5 Existing Exterior Photo 05
NOT TO SCALE



6 Existing Exterior Photo 06
NOT TO SCALE



7 Existing Exterior Photo 07
NOT TO SCALE



8 Existing Exterior Photo 08
NOT TO SCALE

General Note

1. Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
2. Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
3. Mechanical, Electrical and Plumbing (MEP) Removals
 - A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

Demolition General Notes:

1. All wall finishes/substrates shall be removed, ByOthers
2. All wall/window/door trim shall be removed ByOthers, and salvaged/catalogued for re-installation as part of this Contract
3. All ceiling finishes/substrates shall be removed ByOthers

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Existing Photos

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

Revisions		
No.	Description	Date

Date: 06/25/2026

Sheet Number

AD104

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Exterior Elevations

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

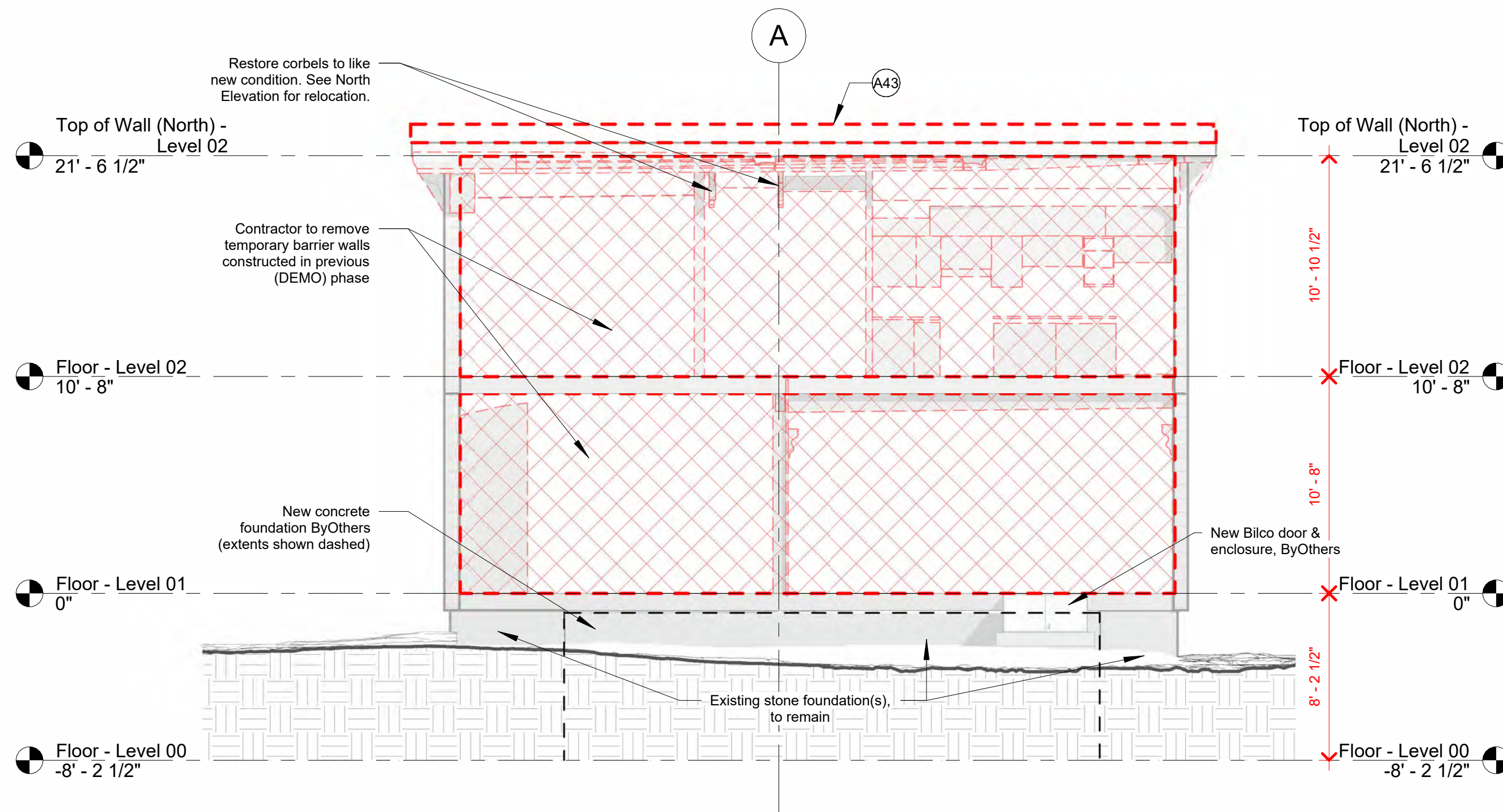
Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

AD200



1 Building Elevation - North Demolition
3/16" = 1'-0"



2 Building Elevation - East Demolition
3/16" = 1'-0"



3 Building Elevation - South Demolition
3/16" = 1'-0"



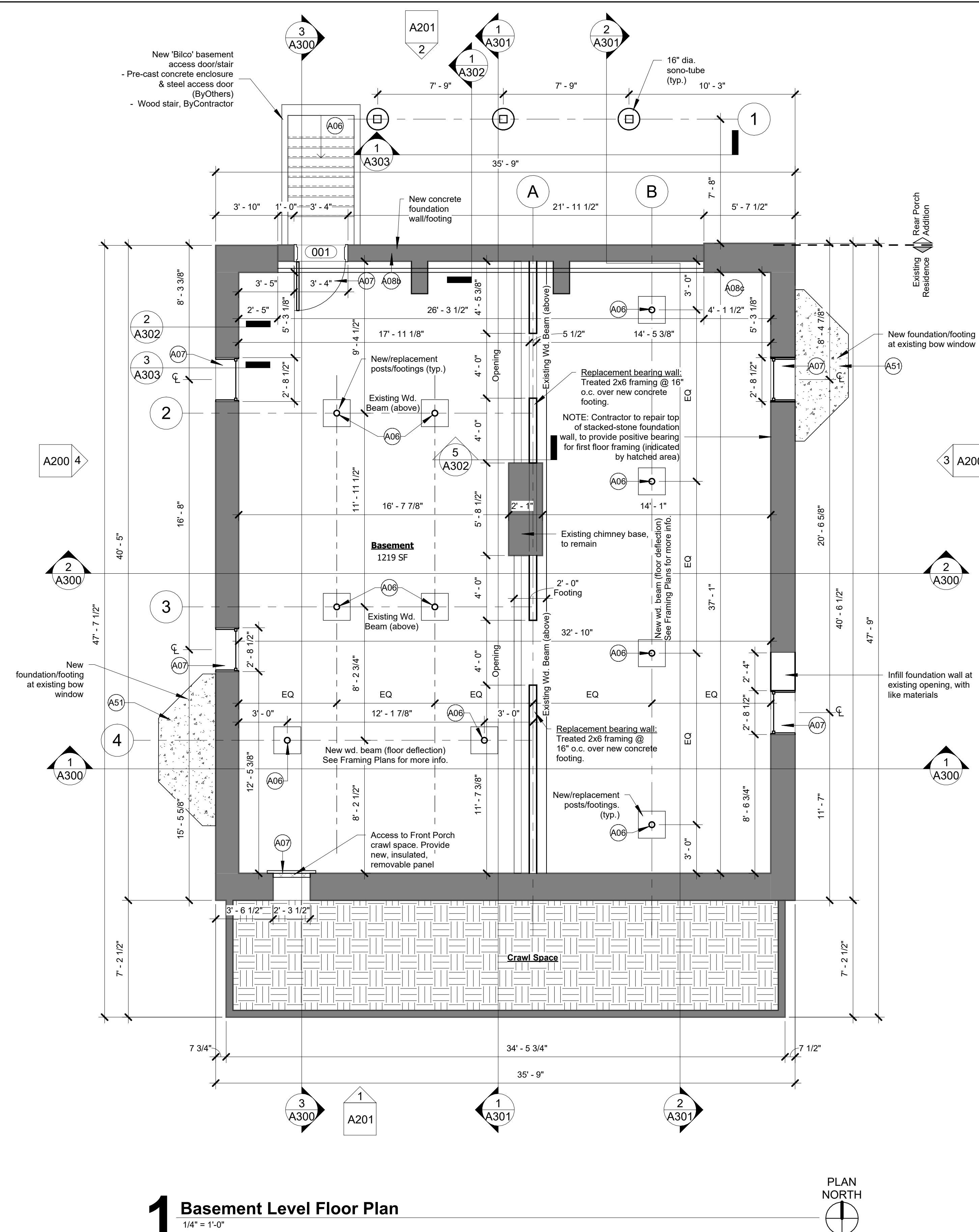
4 Building Elevation - West Demolition
3/16" = 1'-0"

General Note

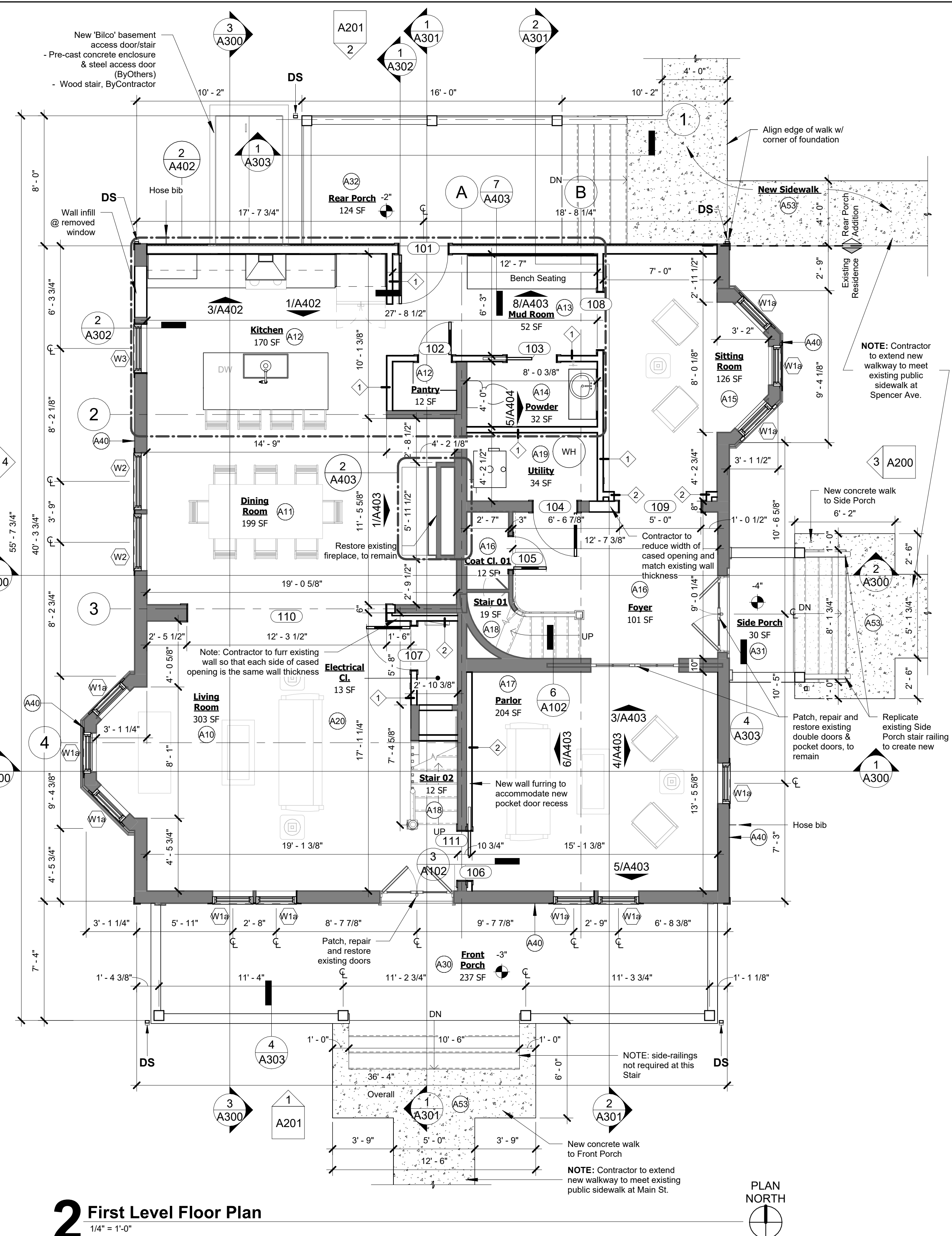
- Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
- Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
 - All MEP equipment, fixtures and infrastructure to be removed in their entirety

General Exterior Demolition Notes

- All existing exterior siding to be removed and replaced
- All aluminum wrap of decorative elements to be removed
- All existing windows to be replaced
- All existing exterior entry doors, to remain and be restored in place
- All existing roofing to be removed and replaced



NOTE: Demolition Contract will salvage stone foundation material from previous Demolition Work, to be used to piece-in at foundation openings, designated areas to be infilled, and to repair areas with deteriorated and/or damaged/missing material, as needed.



Floor Plan General Notes

1. Dimensional Reference Key (unless otherwise noted)
 - Foundation/Slabs = Exterior face
 - Exterior Walls = Exterior face of framing
 - Interior Opening = Center of opening
 - Interior Walls = Face of finish
 - Casework = Face of finish
 - Fixtures = Centerline
 - Windows = Centerline
2. Any discrepancies between the Drawings and actual field conditions are to be reported to the Owner and Architect before commencement of that Work.
 - 3. Typical exterior partition assembly is to be 2x6 wd studs @ 16" O/C max., w/ 1/2" gypsum board one side, plaster finish w/ paint (colors TBD By Owner); unless otherwise noted
 - 4. Typical interior partition assembly is to be 2x4 wd studs @ 16" o/c max., w/ 1/2" gypsum board ea. side, plaster finish w/ paint (colors TBD By Owner); unless otherwise noted

General Note

1. Refer to **A001, A002, & A003** for specific information and specs regarding each room/space.
2. Refer to Drawings **A001, A002, & A003** for descriptions for each keyed note indicated on this Drawing.
3. Mechanical, Electrical and Plumbing (MEP) Removals
 - A. All MEP equipment, fixtures and infrastructure to be removed in their entirety



Consultant:

Professional Seal:



Renovations + Reconstruction

Sheet Title

Basement and First Floor Plans

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

A100

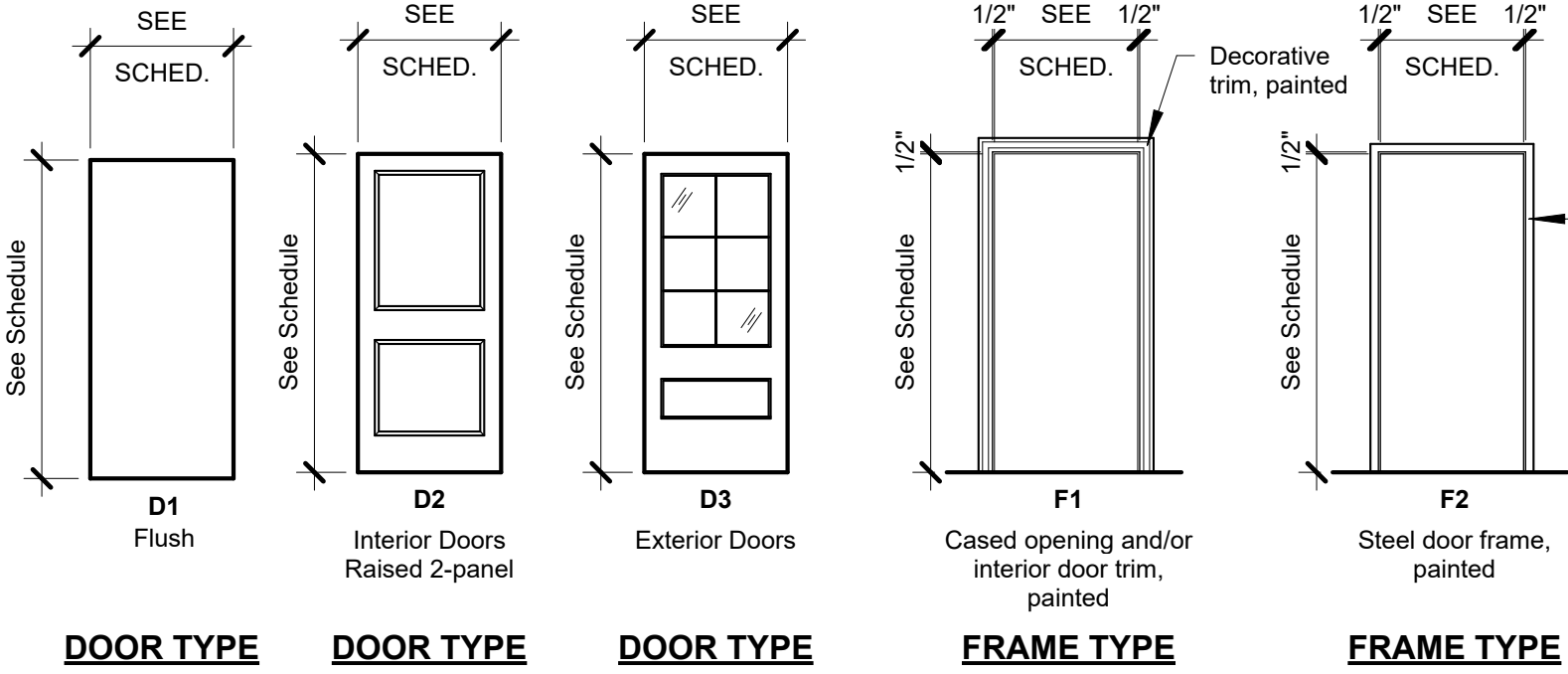
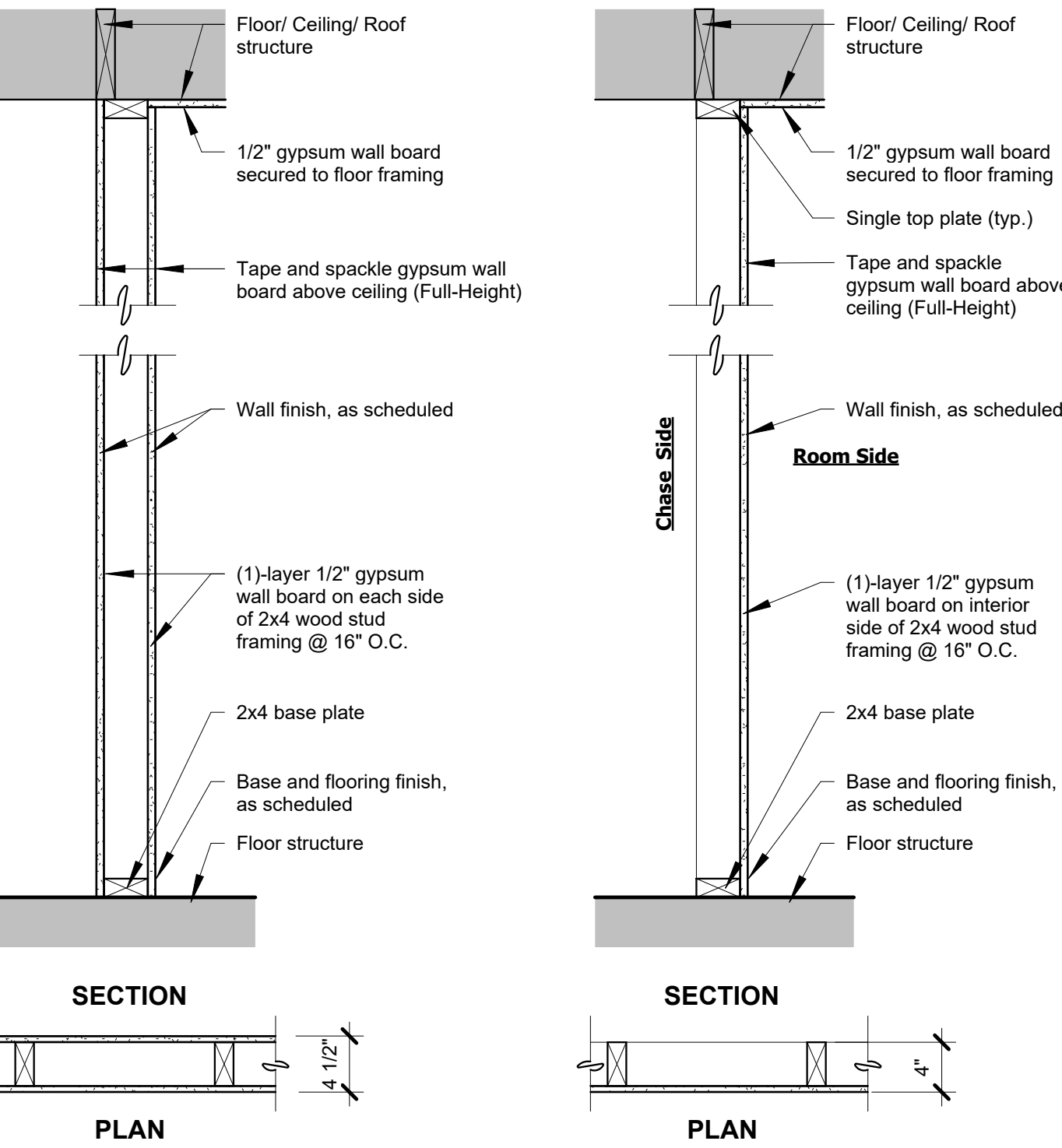


PLAN
NORTH

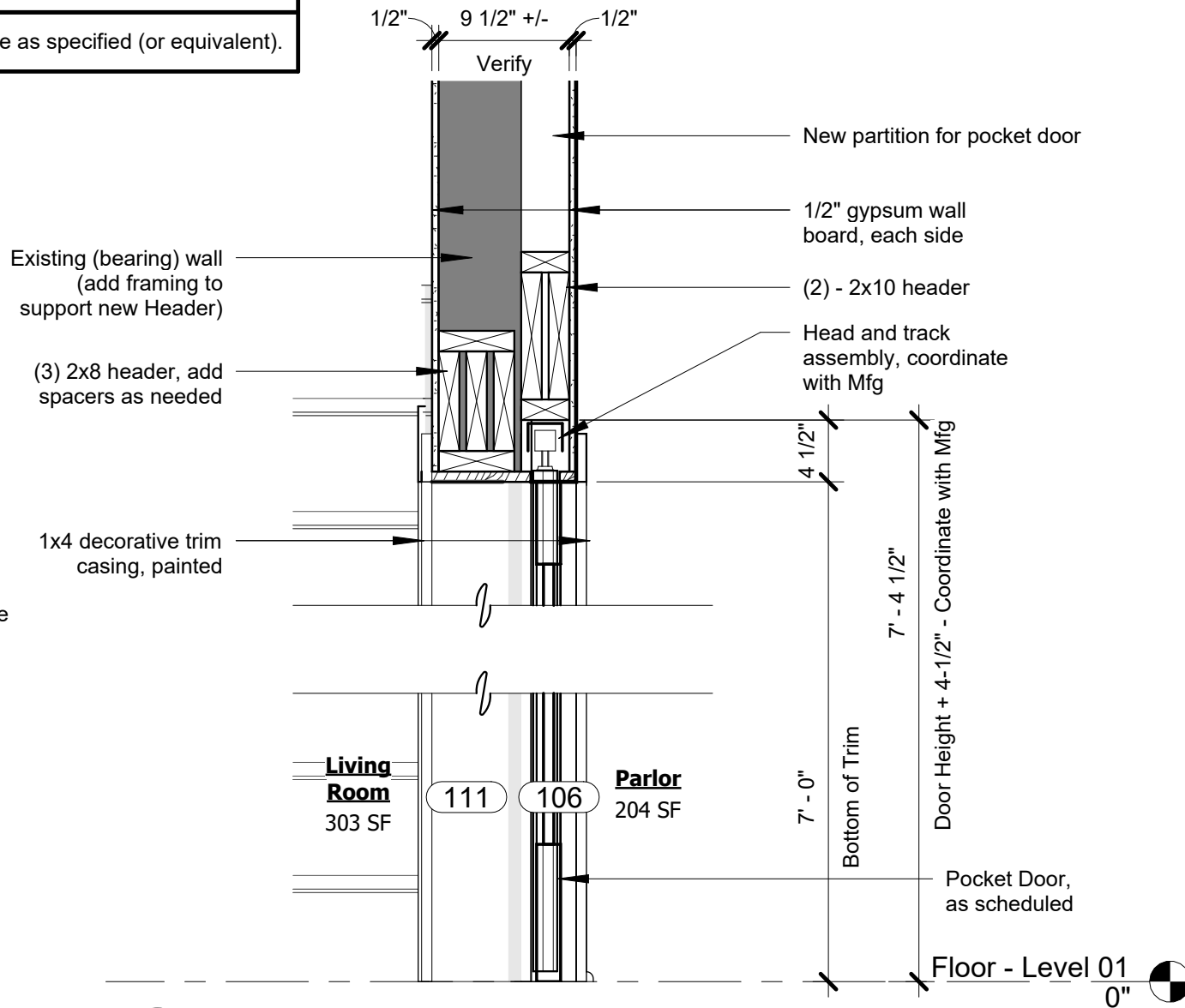
A101

DOOR + FRAME SCHEDULE										
Door						Frame			Detail	
Mark	Width	Height	Elevation	Material	Finish	Type	Material	Finish	Head	Jamb
Exterior										
Floor - Level 00										
001	3' - 0"	6' - 4"	D1	HM	PNT	F2	HM	PNT	3/A300	
Insulated door, door and frame galvanized. Custom-size (height). Concrete rough opening ByOthers.										
126	3' - 0"	6' - 4"	D1	HM	PNT	F2	HM	PNT	3/A300	
Insulated door, door and frame galvanized. Custom-size (height). Concrete rough opening ByOthers.										
Interior										
Floor - Level 01										
101	3' - 0"	7' - 0"	D3	WD	PNT	F1	WD	PNT	1/A302	
Insulated door										
102	2' - 0"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
103	3' - 0"	7' - 0"	D2	WD	PNT	F1	WD	PNT	3/A102	4/A102
Pocket Door										
104	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
105	2' - 0"	5' - 10"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
106	3' - 0"	7' - 0"	D2	WD	PNT	F1	WD	PNT	3/A102	4/A102
Pocket Door										
107	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
108	3' - 6"	7' - 0"	N/A	WD	PNT	F1	WD	PNT	1/A102	2/A102
Cased Opening										
109	5' - 0"	7' - 0"	N/A	WD	PNT	F1	WD	PNT	1/A102	2/A102
Cased Opening										
110	12' - 2"	8' - 0"	N/A	WD	PNT	F1	WD	PNT	1/A102	2/A102
Cased Opening										
111	3' - 0"	7' - 0"	N/A	WD	PNT	F1	WD	PNT	3/A102	4/A102
Cased Opening										
Floor - Level 02										
201	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
202	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	3/A102	4/A102
Pocket Door										
203	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	3/A102	4/A102
Pocket Door										
204	2' - 0"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
205	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
206	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
207	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
208	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
209	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
210	2' - 0"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
211	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
212	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
213	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
214	2' - 8"	7' - 0"	D2	WD	PNT	F1	WD	PNT	1/A102	2/A102
215	2' - 6"	7' - 0"	N/A	WD	PNT	F1	WD	PNT	1/A102	2/A102
Cased Opening										
216	2' - 6"	7' - 0"	N/A	WD	PNT	F1	WD	PNT	1/A102	2/A102
Cased Opening										

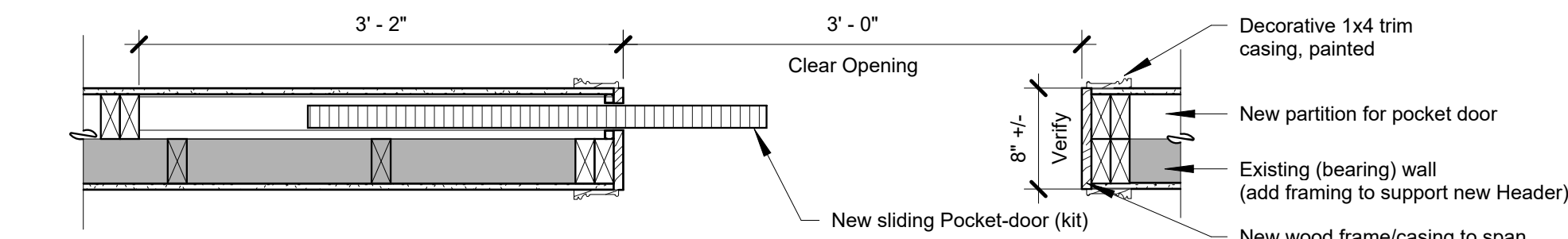
Door Schedule Notes
1. All exterior (entry) solid doors to be insulating type, U-Factor of 0.35, or better. Exterior cladding = Aluminum, Interior Finish = Stain-grade hardwood. Final color selections By Owner.
2. All exterior (entry) glass doors to be insulating type, U-Factor of 0.38, or better. Exterior cladding = Aluminum, Interior Finish = Stain-grade hardwood. Final color selections By Owner.
3. All interior doors to be solid-core, wood, panel type, Stain-grade. Final door styles to be selected By Owner. Final color selections By Owner.
4. All interior doors shall be fabricated in accordance with the architectural woodwork standards for doors as published by the Architectural Woodwork Institute.
5. Deliver doors to the job site only after all finish work and concrete has thoroughly cured.
6. Fit doors to openings so that the top and side clearance does not exceed 1/8" and undercut clearance does not exceed 1/4".
7. All door hardware, components, and finishes must be coordinated with the door hardware manufacturer and the Owner.
Door Installation General Notes
A. General contractor shall field verify all existing and new door/frame openings prior to the start of work.
B. General contractor shall remove existing masonry wall as required for the installation of the new door and frame assemblies as per door schedule and specifications.
C. General contractor shall provide any patching required at new door & window frames located within existing openings to match adjacent existing finishes.
D. All screws in door and window frames shall be counter-sunk into frame and the same color as the frame in which it is installed.
E. Any existing frames indicated to remain shall be primed and painted. Prep existing frames to receive new doors and hardware.
F. Excessive caulking <u>will not be acceptable</u> . Caulk installations shall be clean, concaved, and smooth.
G. All voids in head and jambs shall be packed solid with batt insulation that meets the intended R-value for the insulation indicated to be installed in that wall.
H. Gaps between frame and edge of opening shall not exceed 1/4" in windows and storefront installations and 1/2" in curtainwall installations. Provide backer rod and caulk to fill gap.
I. Contractor is required to remove all excess caulk and debris on adjacent materials that is a result of the installation.
J. Any field modifications that expose the painted finish or natural aluminum must be treated with a finish that matches the aluminum frame system as specified.



Note: All interior doors to be primed and painted. Door and trim color to be Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss, unless otherwise specified.	Door Abbreviations <table><tr><td>PNT</td><td>Paint</td></tr><tr><td>STL</td><td>Steel</td></tr><tr><td>WD</td><td>Wood</td></tr></table>	PNT	Paint	STL	Steel	WD	Wood
PNT	Paint						
STL	Steel						
WD	Wood						
<table><tr><th>Door Hardware</th></tr><tr><td>All door hardware as specified (or equivalent).</td></tr></table>	Door Hardware	All door hardware as specified (or equivalent).					
Door Hardware							
All door hardware as specified (or equivalent).							



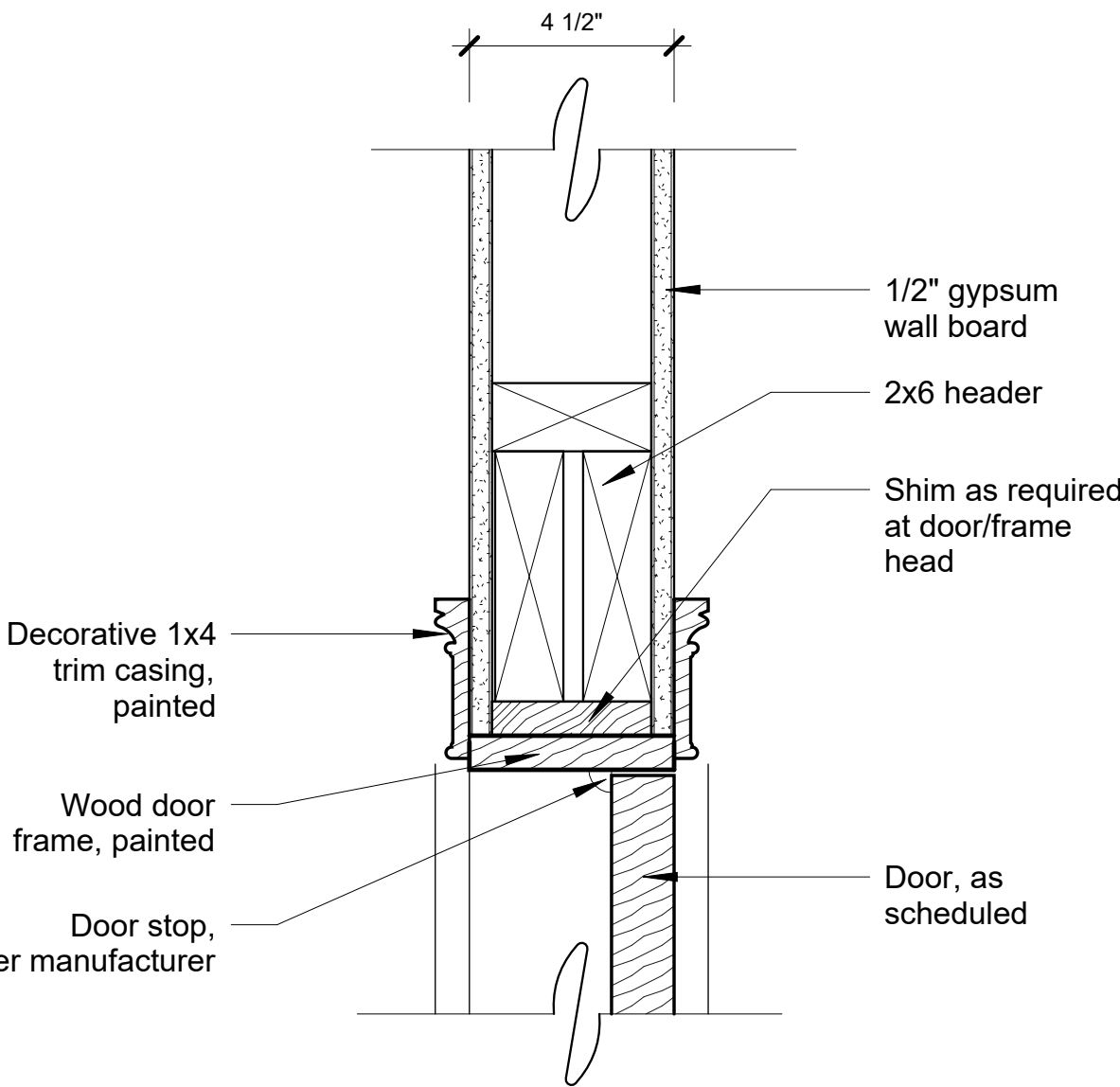
3 Pocket Door Section Detail @ Parlor
1" = 1'-0"



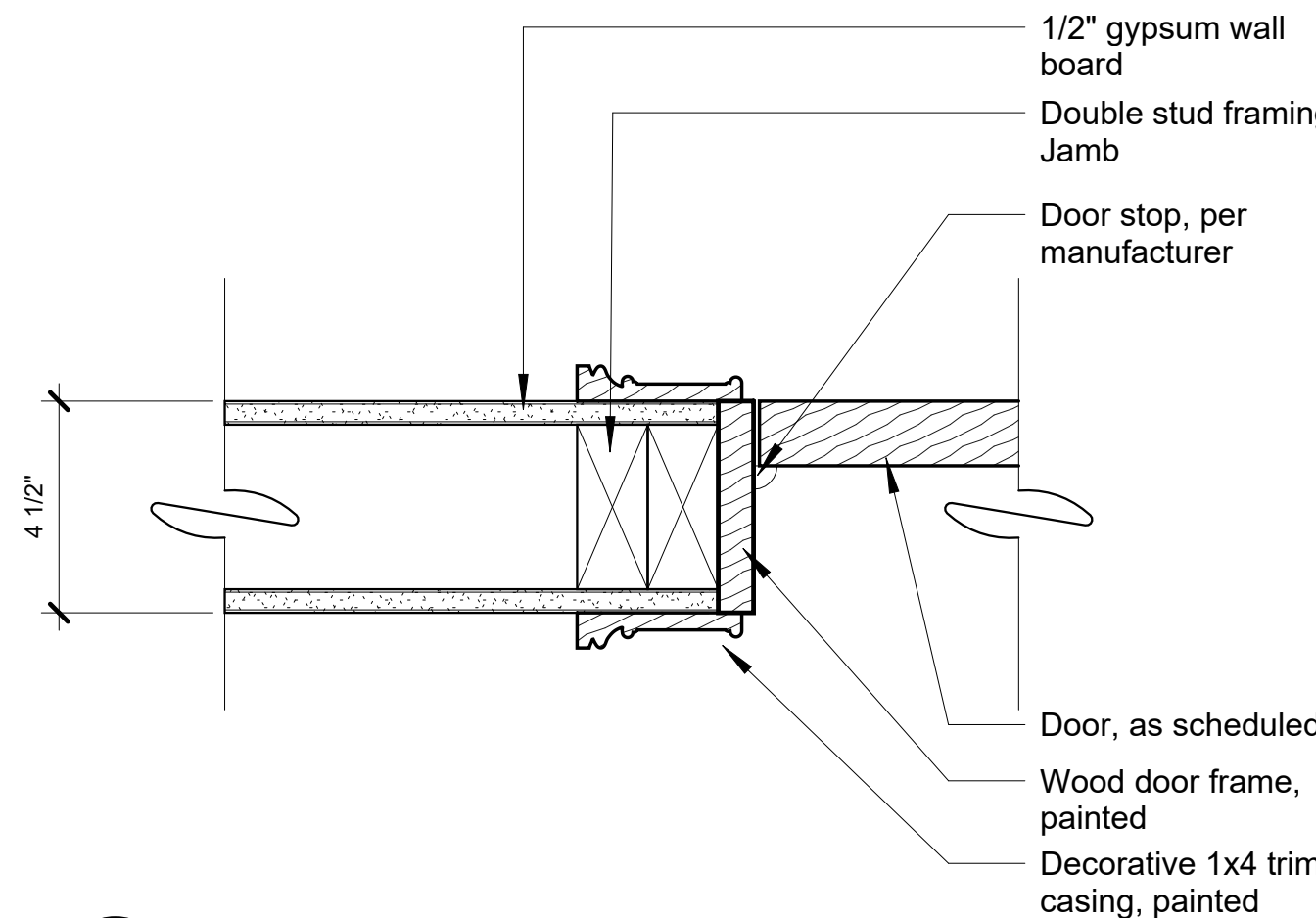
4 Pocket Door Jamb Detail
1" = 1'-0"

WINDOW SCHEDULE						
Mark	Count	Description	Size		Head Height	Comments
			Width	Height		
W1a	11	Double-Hung	2' - 6"	5' - 10"	8' - 0"	
W1b	20	Double-Hung	2' - 6"	5' - 10"	7' - 4"	
W2	2	Double-Hung	3' - 6"	5' - 10"	8' - 0"	
W3	1	Double-Hung	3' - 0"	5' - 10"	8' - 0"	
W4	4	Flood Vent	2' - 8 1/2"	1' - 4"	7' - 3"	

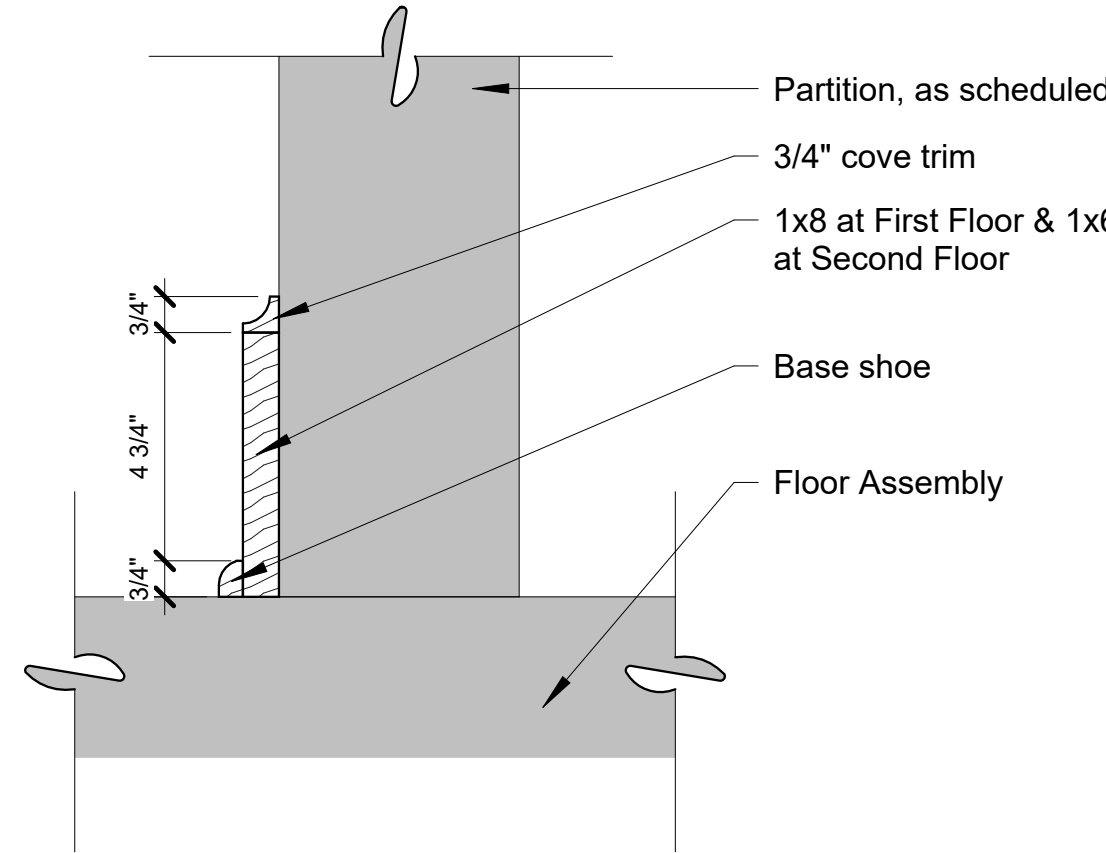
NOTE: Window sizes listed in the Schedule are approximate/nominal. The Contractor shall field-verify all replacement window dimensions, and coordinate sizing with the Window Manufacturer/Supplier.



1 Door Head Detail
3" = 1'-0"



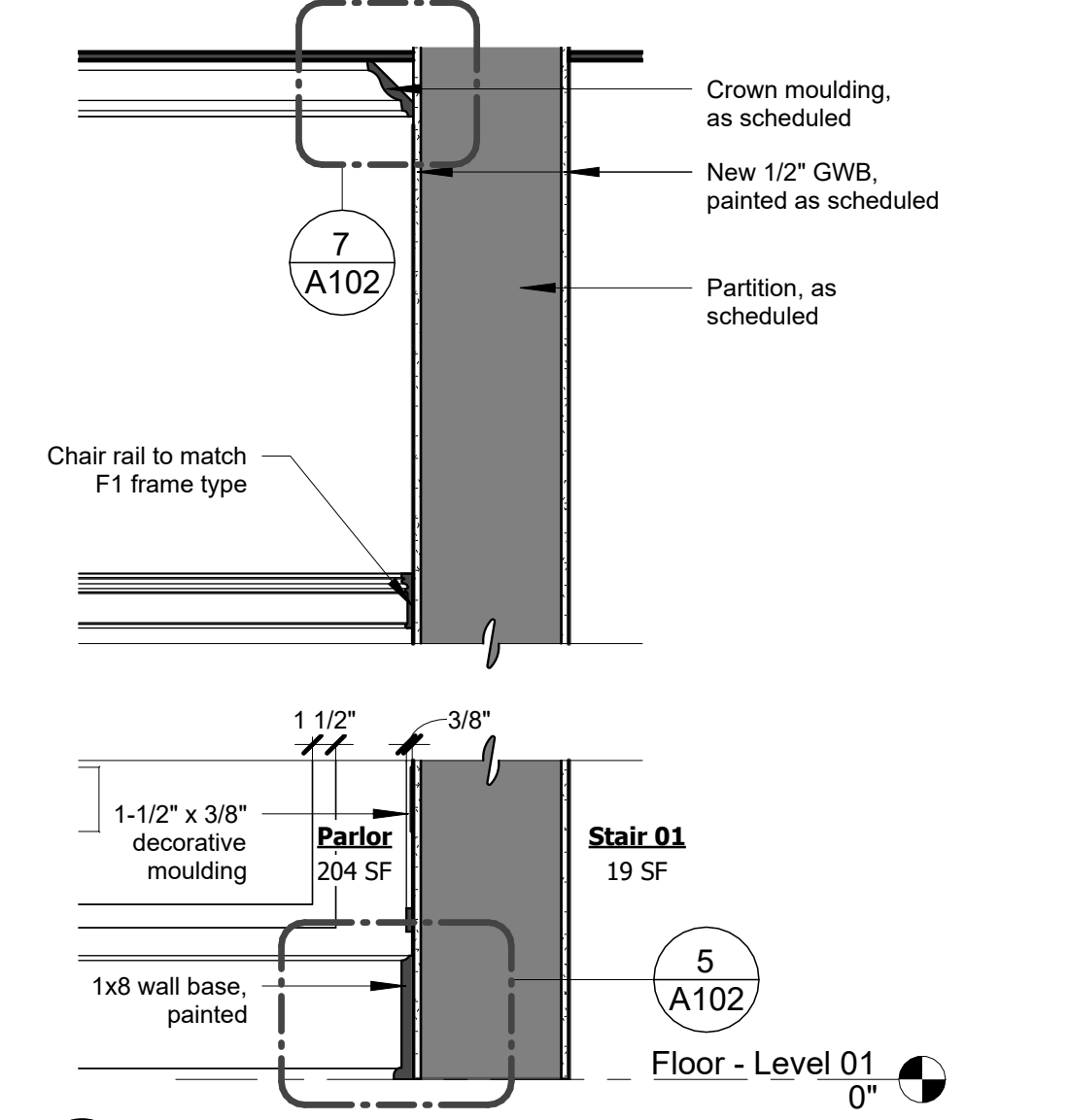
2 Door Jamb Detail
3" = 1'-0"



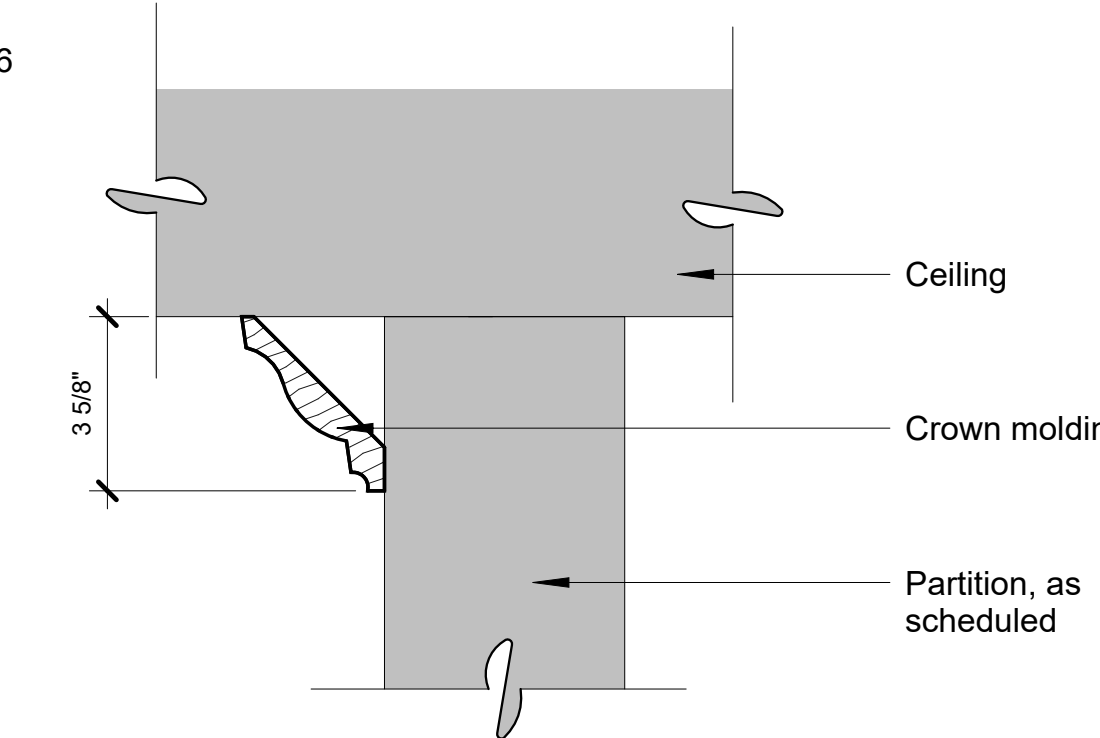
5 Wall Base Detail
3" = 1'-0"

Window Schedule Notes
1. Windows based upon Andersen A-series, unless directed otherwise by the Owner. a. Exterior Color: Red Rock b. Exterior Trim: 4-1/2" flat casing with extended sill nose; Color: Canvas c. Interior Color: Primed (for paint); Color: Benjamin Moore - White Dove OC-17 - Sheen: Semi-Gloss
2. Glazing performance criteria to be: Low-E, Double-glazed, argon-filled, insulating type - 0.28 U-factor, min.
3. Exterior cladding to be aluminum, color to match existing, where applicable.
4. Interior Finish to be wood, stain-grade. Final finish selection(s) to be made By Owner.
5. Supply all appropriate hardware, trim, installation clips, weather stripping, etc. as required by manufacturer's installation specifications.
6. "Egress Windows" must meet net opening requirements of the NYS Residential Building Code (section R310).
7. Provide screens for all operable windows.
8. After window installation, test operation and adjust as required for smoothness.
9. Finish hardware shall be selected by Owner. After installation, test all hardware for smoothness of operation and locking.
10. All interior wood trim shall be a clear grade. Install trim in continuous lengths, without joints and seams. Install level and plumb, nailed securely without splitting or damaging. Set nails and sand out all imperfections.

Window Installation General Notes
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL WINDOW OPENINGS PRIOR TO THE START OF WORK.
A. Excessive caulking <u>will not be acceptable</u> . Caulk installations shall be clean, concaved, and smooth.
B. All voids in head, jamb, and sills shall be packed solid with batt insulation that meets the intended R-value for the insulation indicated to be installed in that wall.
C. Gaps between frame and edge of opening shall not exceed 1/4" in windows and storefront installations and 1/2" in curtainwall installations. <u>Provide backer rods</u> .
D. Contractor is required to remove all excess caulk and debris on adjacent materials that is a result of the installation.
E. Any field modifications to the window systems shall be tested for air and water infiltration -or- an official letter from the manufacturer indicating that the field modifications will not violate the window warranty shall be provided to the owner and architect.
F. Any field modifications that result in the natural aluminum being visible shall receive a finish that matches the finish of the aluminum window system.
G. All exposed steel lintels (interior and exterior) shall be primed and painted. Color as selected by architect.



6 Parlor Trim Details
1" = 1'-0"



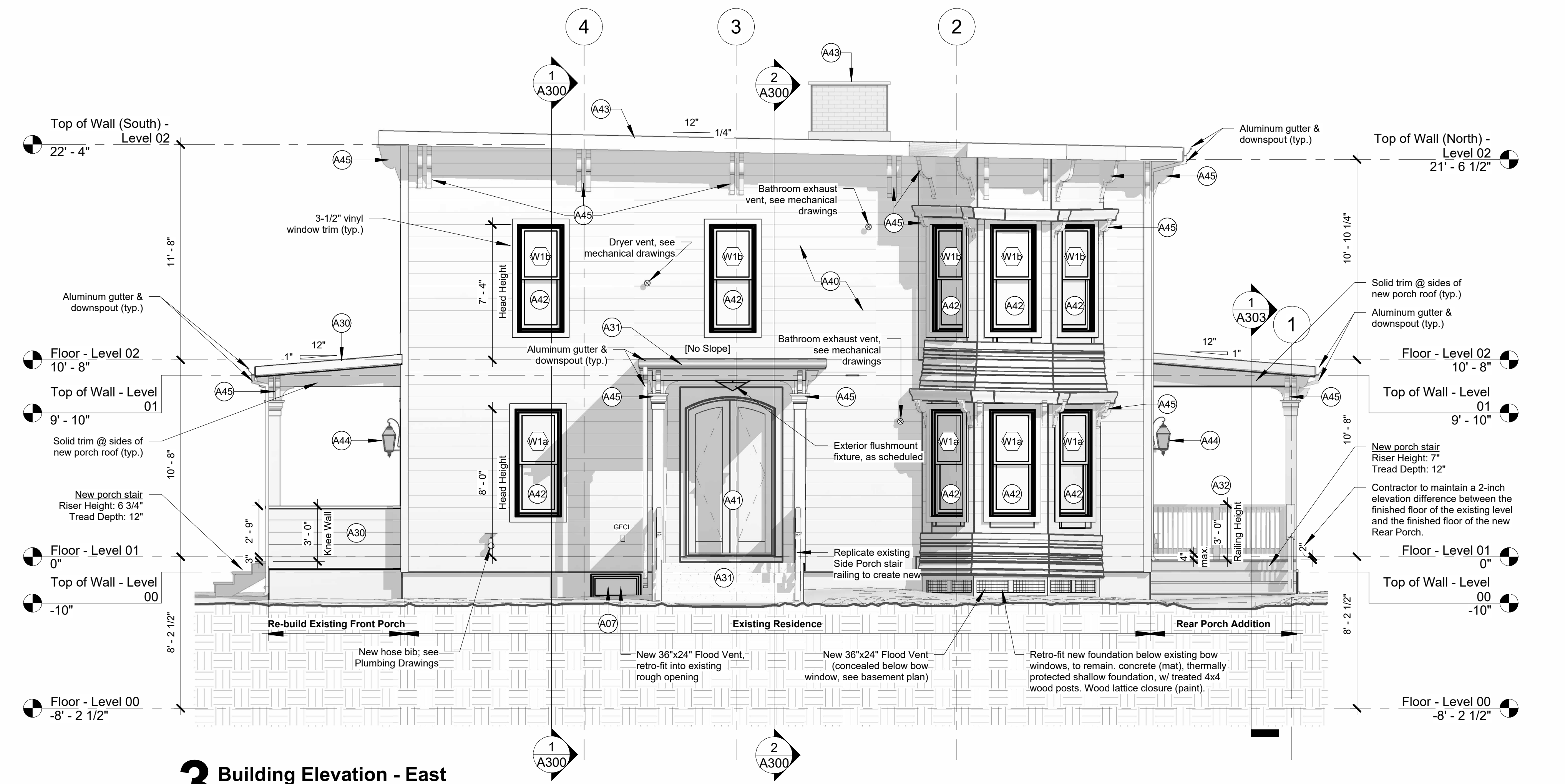
7 Crown Moulding Detail
3" = 1'-0"

Consultant:

Professional Seal:



Project Number: 25.024		
Scale: As indicated		
Revisions		
No.	Description	Date
Date: 06/25/2026		
Sheet Number		



3 Building Elevation - East
1/4" = 1'-0"



4 Building Elevation - West
1/4" = 1'-0"

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Exterior Elevations

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

Revisions		
No.	Description	Date

Date: 06/25/2026

Sheet Number

A200

BID ALTERNATES

ADD Alternate 01 - Hardwood Flooring
Provide and Install new hardwood flooring (Oak) to match existing in size/ dimension; in lieu of Luxury Vinyl Tile (LVT), in Rooms (first Floor, only) as identified in the Notes and Specifications. (Refer to Drawing A-001 Notes & Specifications.)

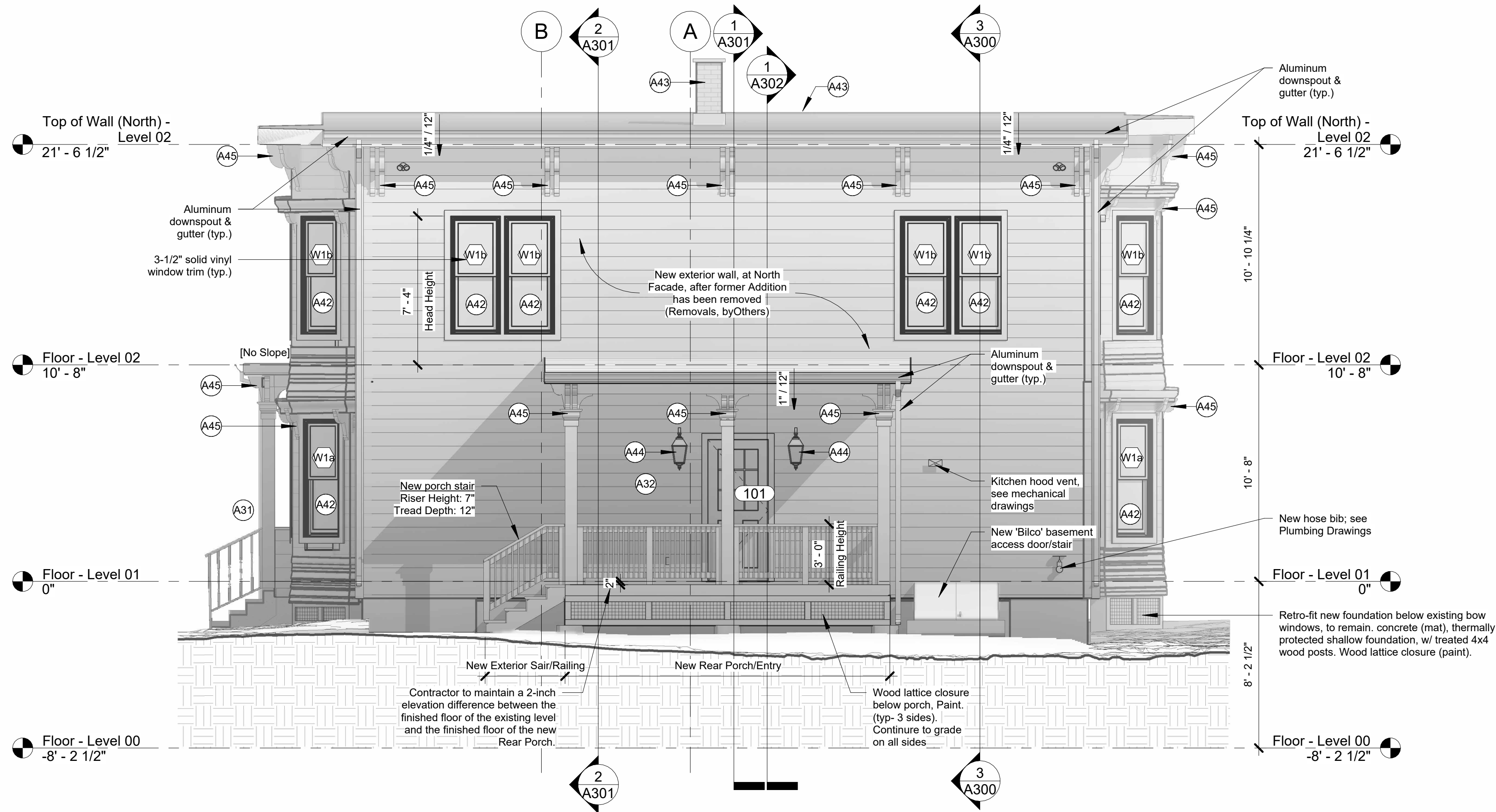
ADD Alternate 02 - Fiber Cement Plank Lap Siding
Provide and Install new Fiber Cement Plank Lap Siding (manufactured by James Hardie Building Products, Inc.); in lieu of Vinyl Siding, throughout.

General Note

- Refer to **A001, A002, & A003** for specific information and specs regarding each room/space.
- Refer to Drawings **A001, A002, & A003** for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
A. All MEP equipment, fixtures and infrastructure to be removed in their entirety



1 Building Elevation - South
1/4" = 1'-0"



2 Building Elevation - North
1/4" = 1'-0"

BID ALTERNATES

ADD Alternate 01 - Hardwood Flooring
Provide and install new hardwood flooring (Oak) to match existing in size/ dimension; in lieu of Luxury Vinyl Tile (LVT), in Rooms (first Floor, only) as identified in the Notes and Specifications. (Refer to Drawing A-001 Notes & Specifications.)

ADD Alternate 02 - Fiber Cement Plank Lap Siding
Provide and install new Fiber Cement Plank Lap Siding (manufactured by James Hardie Building Products, Inc.); in lieu of Vinyl Siding, throughout.

General Note

- Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
- Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Exterior Elevations

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

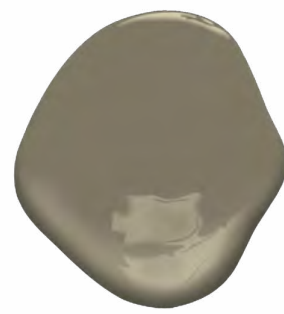
A201



1 3D Exterior Perspective View 1



2 3D Exterior Perspective View 2



Field Color: Benjamin Moore - Gloucester Sage HC-100



Accent Color: Benjamin Moore - Cottage Red HC-184



Accent Color: Benjamin Moore - Carrington Beige HC-93

3 Exterior Color Scheme

12" = 1'-0"

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Exterior Perspectives

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

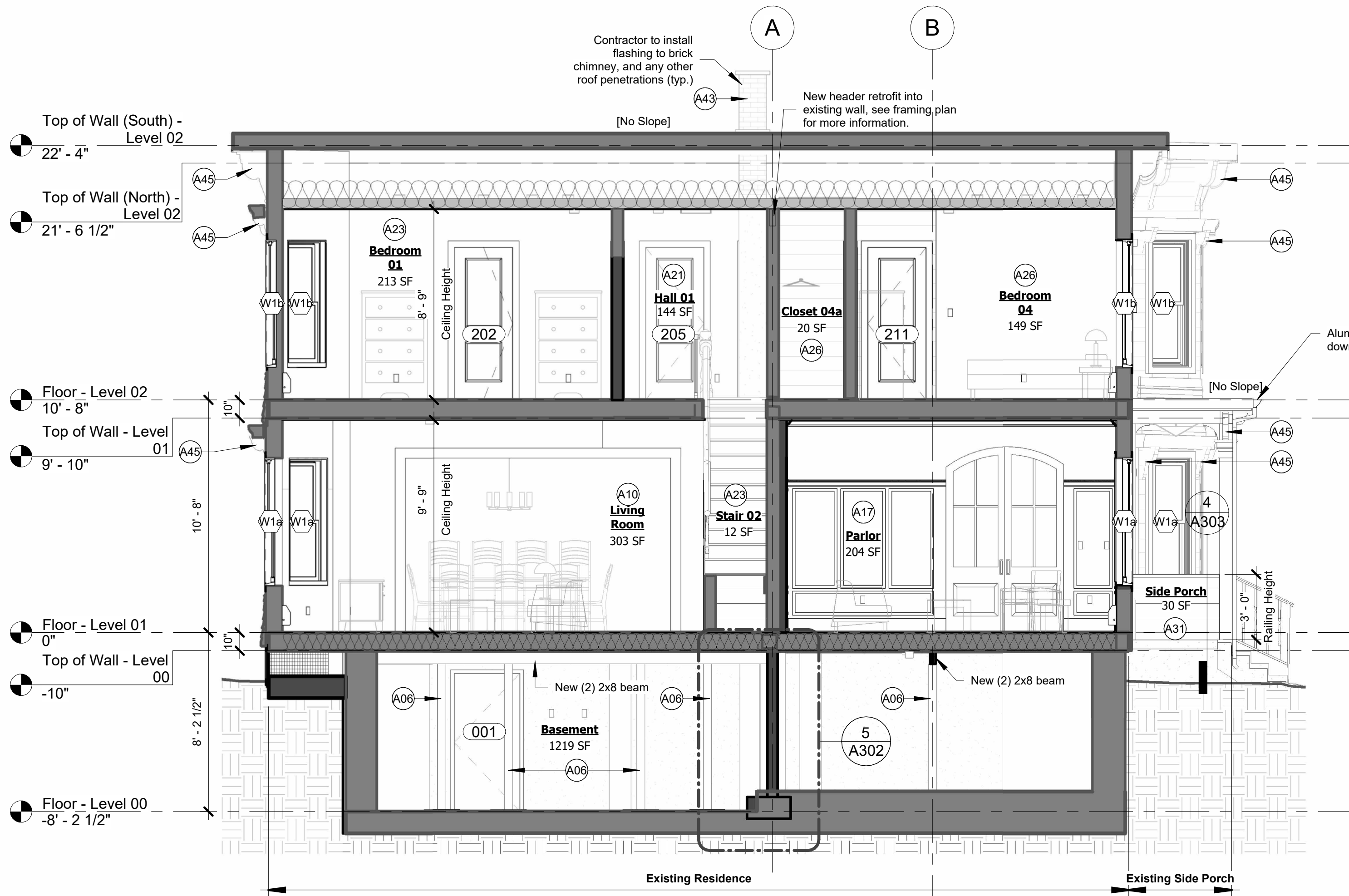
Scale: 12" = 1'-0"

Revisions		
No.	Description	Date

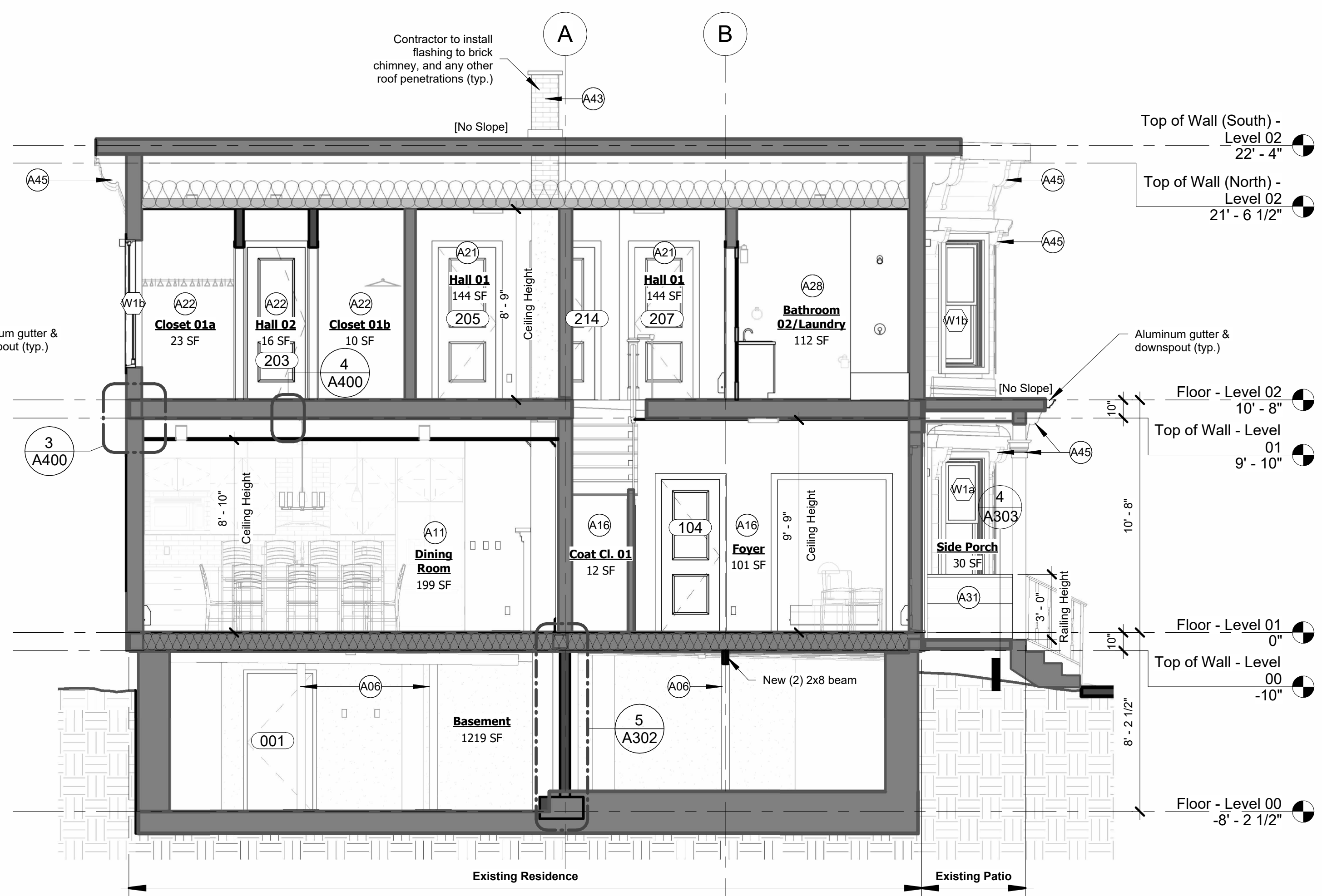
Date: 06/25/2026

Sheet Number

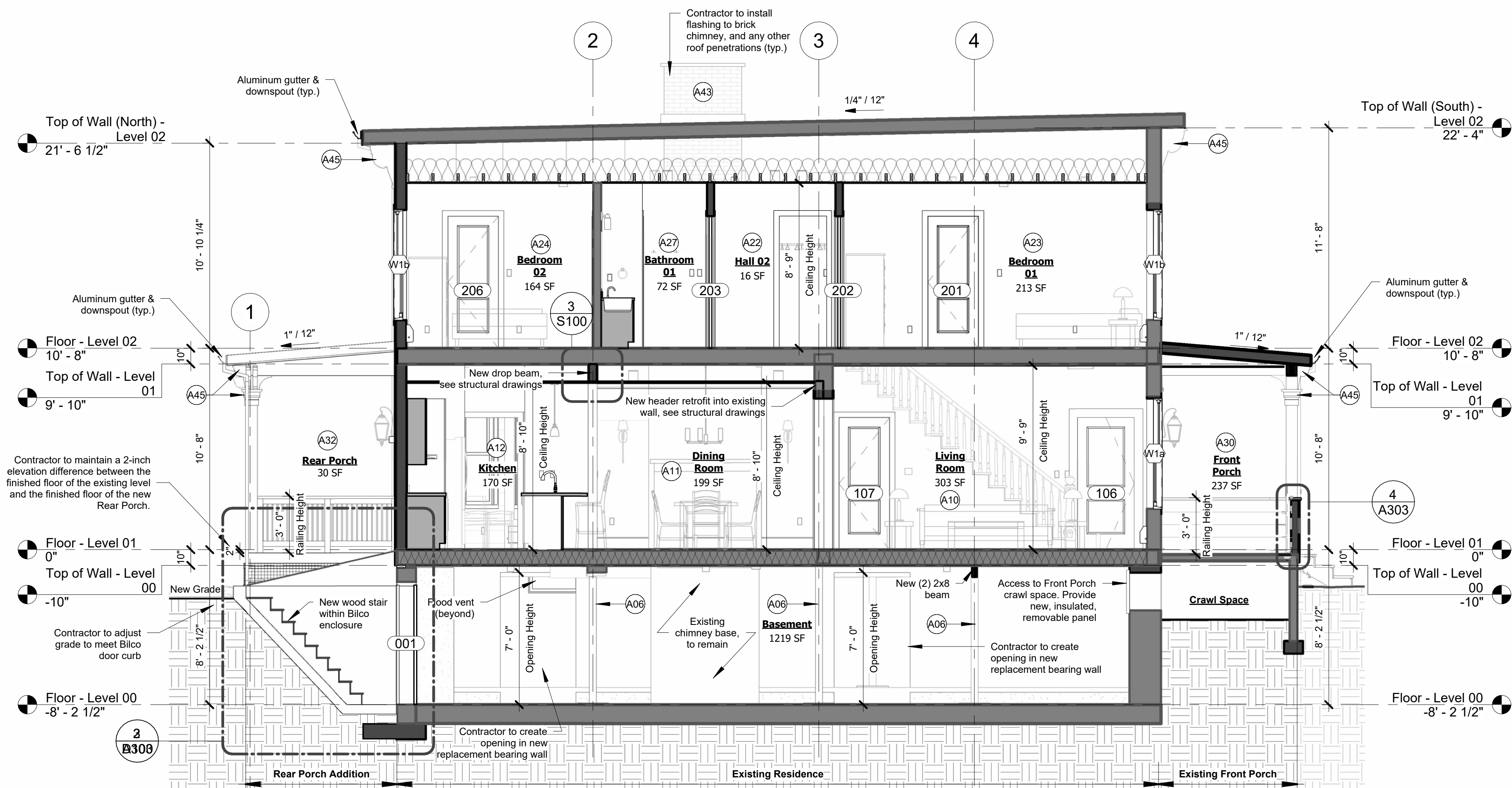
A202



1 Building Section - East/West (View 1)
1/4" = 1'-0"



2 Building Section - East/West (View 2)
1/4" = 1'-0"



3 Building Section - North/South (View 1)
1/4" = 1'-0"

- General Note**
- Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
 - Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
 - Mechanical, Electrical and Plumbing (MEP) Removals
A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Building Sections

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

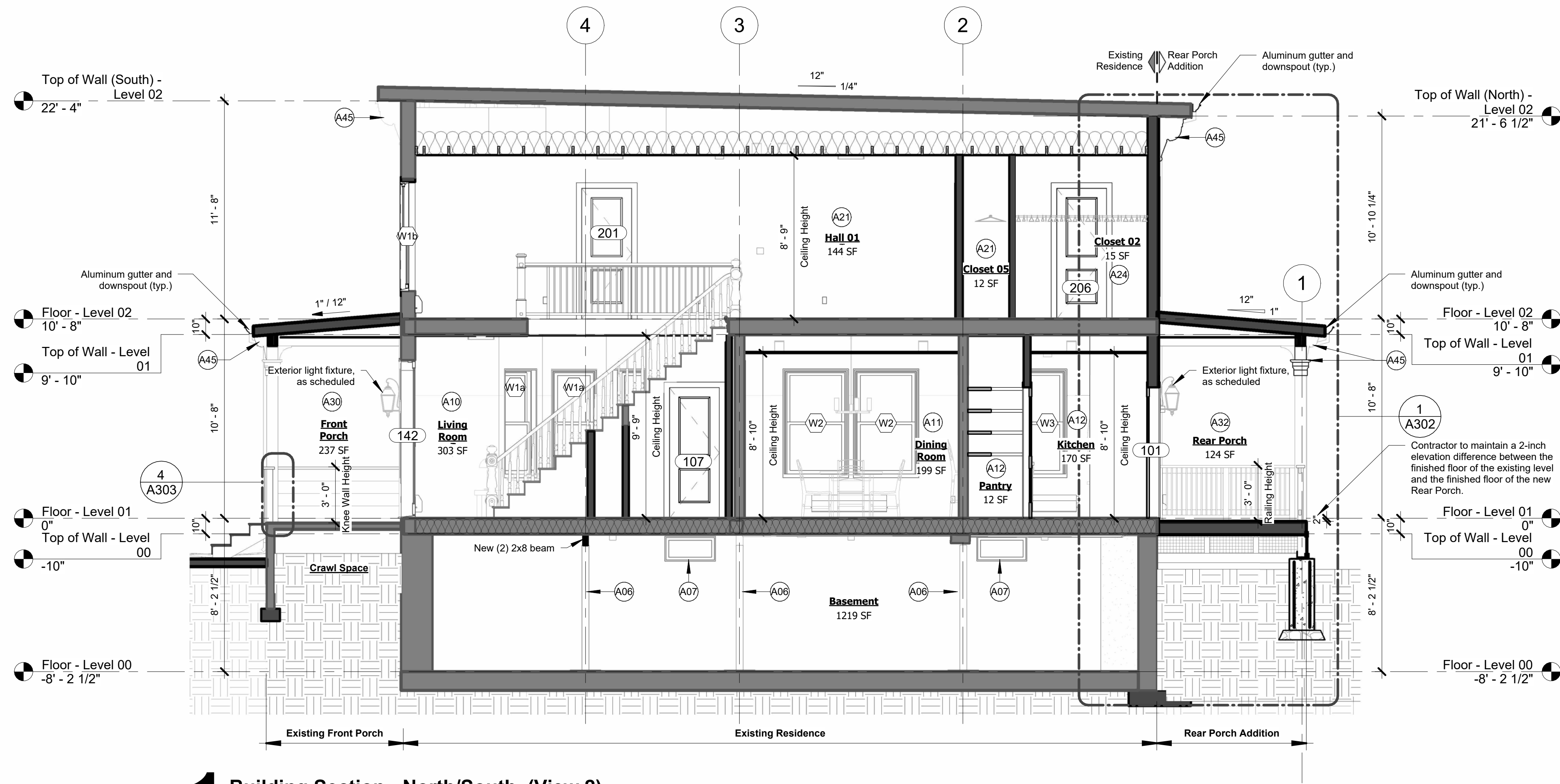
Revisions

No.	Description	Date

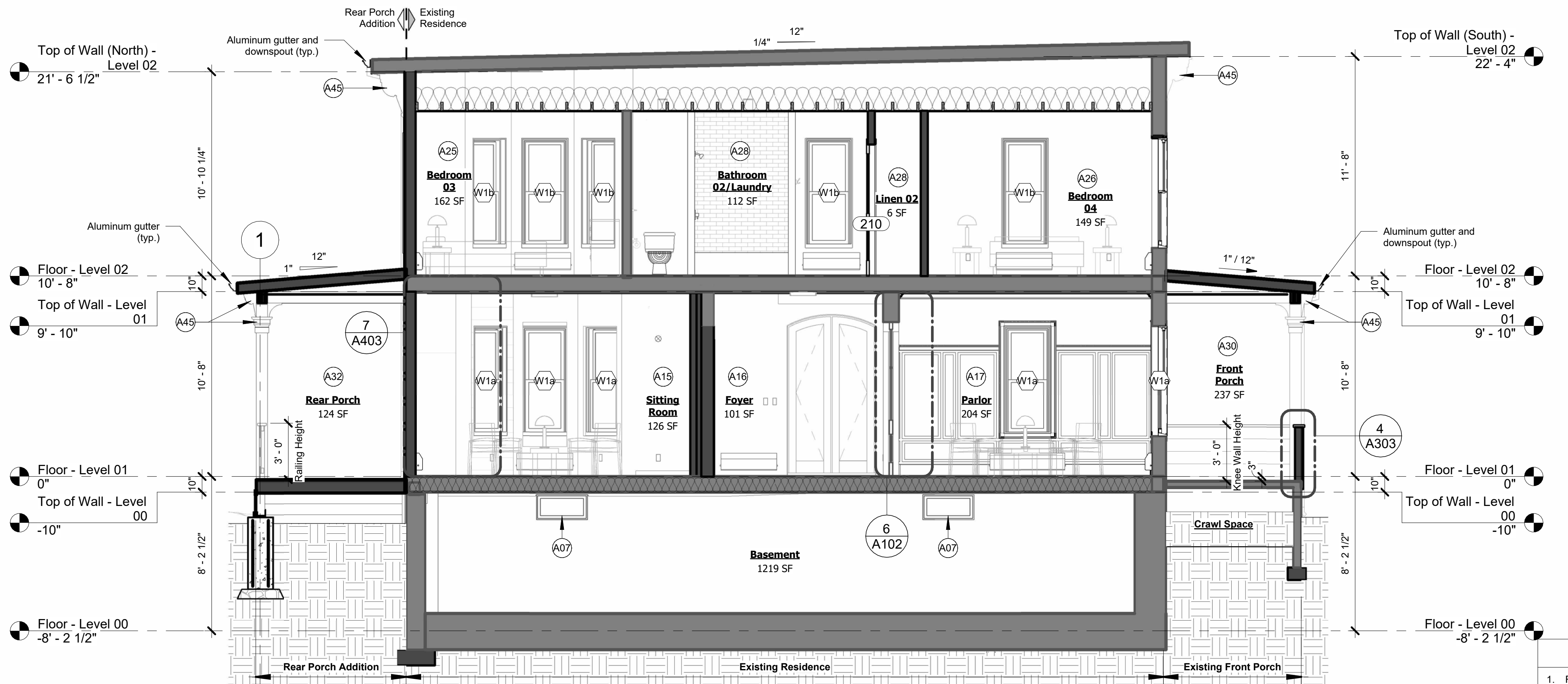
Date: 06/25/2026

Sheet Number

A300



1 Building Section - North/South (View 2)
1/4" = 1'-0"



2 Building Section - North/South (View 3)
1/4" = 1'-0"

General Note

- Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
- Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Building Sections

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

Revisions		
No.	Description	Date

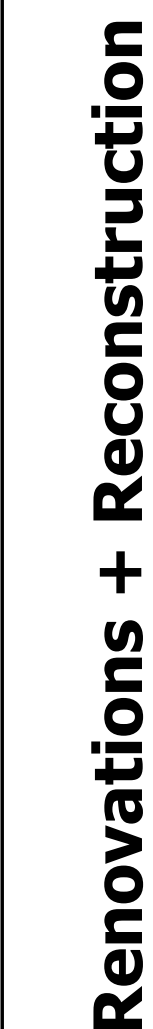
Date: 06/25/2026

Sheet Number

A301



Professional Seal:



Wall Sections

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: $\frac{3}{4}" = 1'-0"$

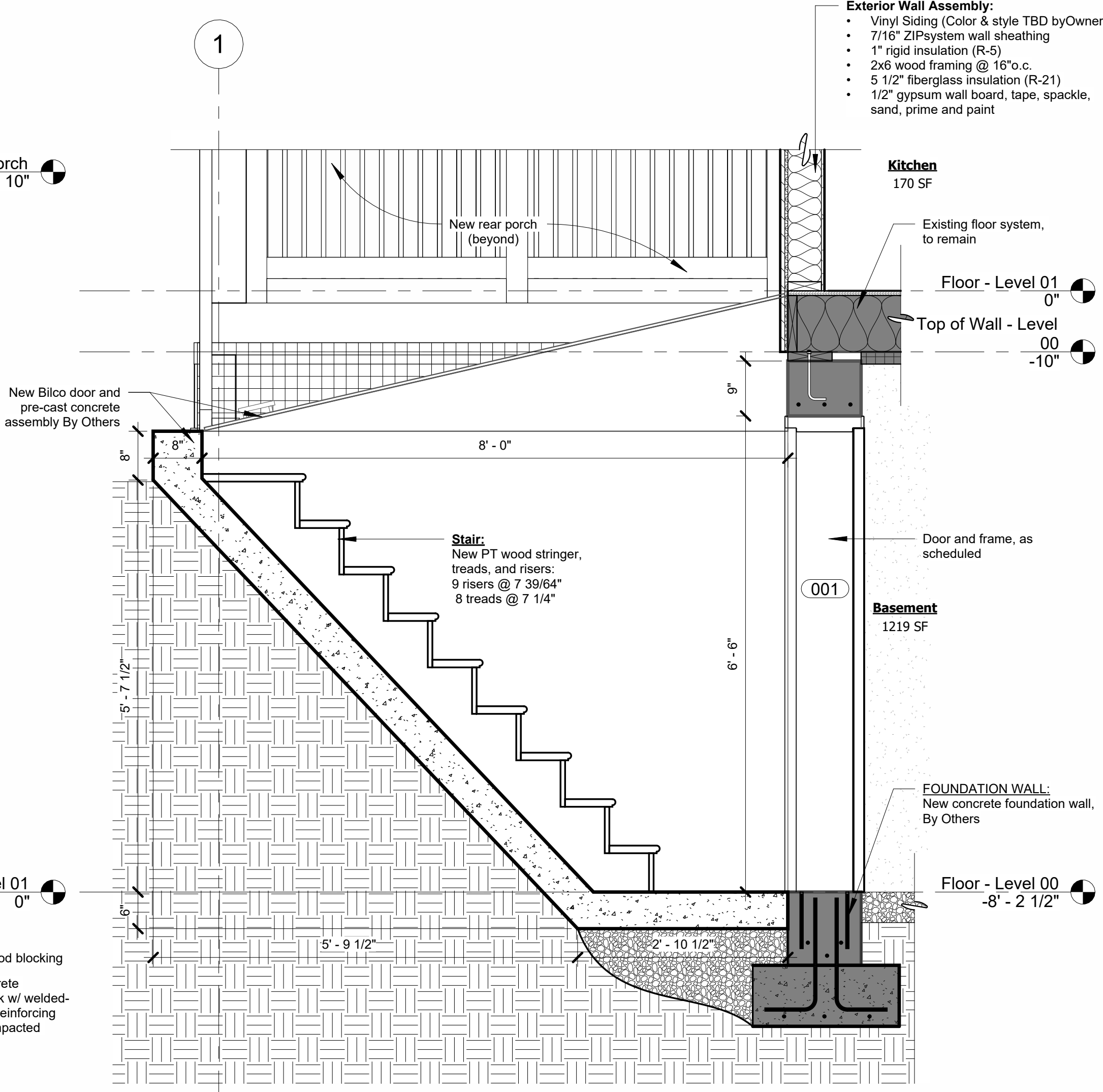
Revisions

Date: 06/25/2026

Sheet Number

A302



 $\angle 3/4'' = 1'-0''$ 
$$3/4'' = 1'-0''$$

Note: Railing must resist 200lbs. per square foot (minimum) of lateral force.

1. Refer to **A001, A002, & A003** for specific information and specs regarding each room/space.
2. Refer to Drawings **A001, A002, & A003** for descriptions for each keyed note indicated on this Drawing.
3. Mechanical, Electrical and Plumbing (MEP) Removals
 - A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Second Level Reflected Ceiling Plan

Sheet Title

OWNER:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

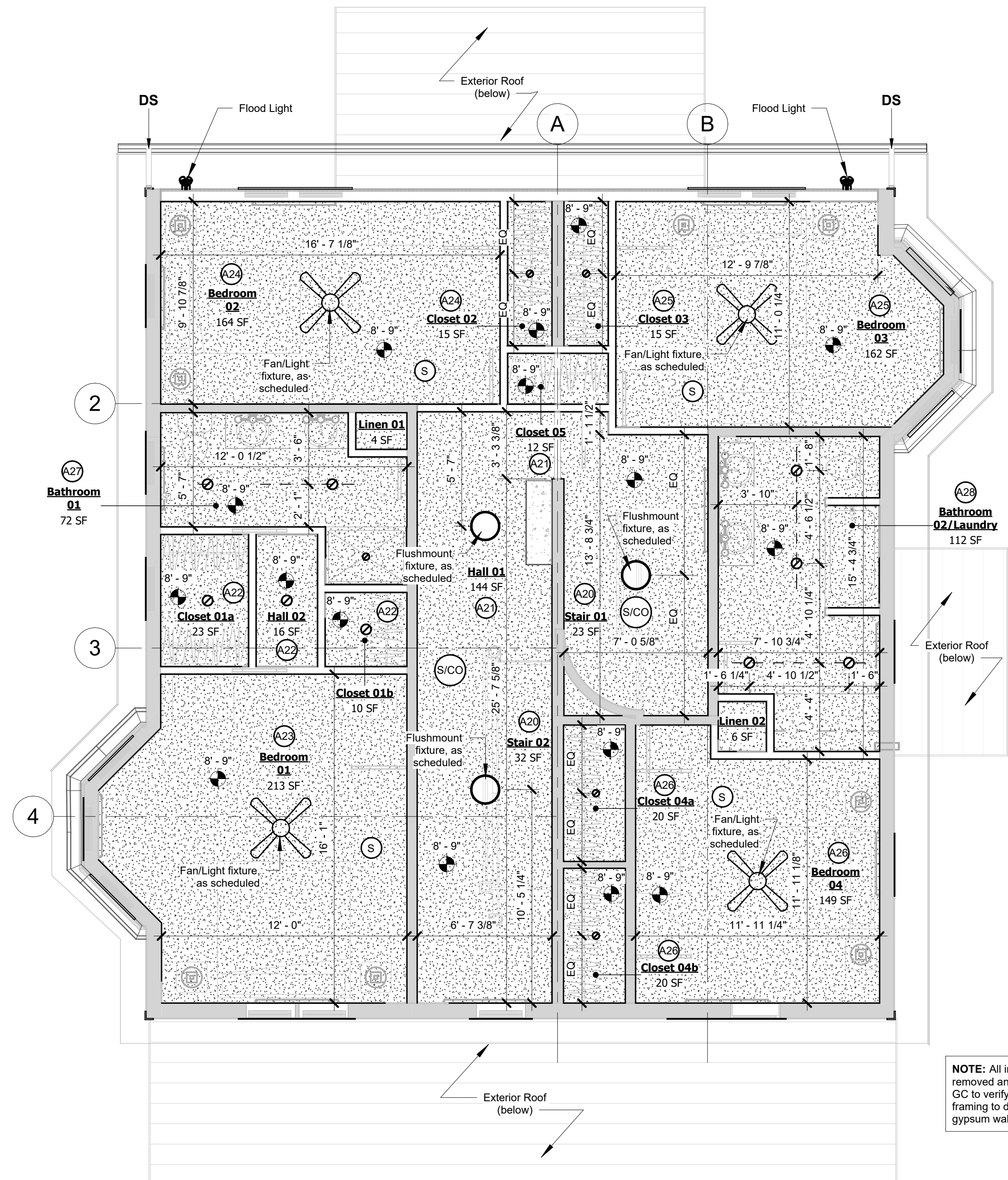
Scale: As indicated

Revisions		
No.	Description	Date

Date: 06/25/2026

Sheet Number

A401



NOTE: All interior ceilings are to be removed and replace with new GWB. GC to verify spacing of existing floor framing to determine if 1/2" or 5/8" gypsum wall board should be installed

1 Second Level Reflected Ceiling Plan

1/4" = 1'-0"

ELECTRICAL LEGEND

- SINGLE POLE SWITCH (48" AFF)
- 3-WAY SWITCH (48" AFF)
- OUTLET (18" AFF, 45" AFF AT COUNTER AREAS AND 48" AFF FOR FLAT SCREEN TV LOCATIONS)
- 240V OUTLET
- GROUND FAULT CIRCUIT INTERRUPTER (EXTERIOR OUTLETS TO BE WATER PROOF (WP))
- CEILING LIGHT, SEE DRAWING A003
- DECORATIVE PENDANT LIGHT
- 4" LED RECESSED LIGHT
- FLOOD LIGHT WITH MOTION SENSOR

- EXTERIOR WALL LIGHT SCENCE
- COMBINATION SMOKE and CARBON MONOXIDE DETECTION
- SMOKE DETECTION
- CARBON MONOXIDE DETECTION
- EXHAUST FAN (NOTE: VENT BATHROOM EXHAUST FAN TO THE EXTERIOR)
- VANITY LIGHT BAR
- LINEAR LED LIGHT FIXTURE
- UNDER CABINET LED LIGHTING
- CEILING FAN/LIGHT FIXTURE

SMOKE AND CARBON MONOXIDE DETECTION:

- All required smoke-detecting and carbon monoxide services are interconnected to ensure that activation of any one device will sound an alarm that is audible throughout the facility.

Smoke detectors are to be installed:

- In each bedroom
- In each corridor adjacent to sleeping rooms
- In corridors or adjacent open areas such as living rooms, dining rooms or recreation rooms
- At a maximum of 30 feet on center and no more than 15 feet from a wall
- At the head of each open stairway located within the facility or a smoke detector is installed within six feet of the bottom opening of a stairway that is enclosed at the top
- Ensure that smoke detectors are installed greater than three (3) feet or less of operable ceiling fans.
- Smoke detectors in a room with a ceiling fan must be photoelectric vs. ionization type unless specifically listed for conditions of rapid air movement.

Carbon monoxide alarm are to be installed:

- On each story having a sleeping area
- On each story where a carbon monoxide source is located
- Exception: One carbon monoxide alarm installed on a story of a building having both a sleeping area and a carbon monoxide source shall suffice for that story within that building.

Note: Carbon Monoxide Source: A carbon monoxide source includes any solid, liquid or gaseous fuel-fired appliance, equipment, device, system, fireplace, garage, motor vehicle, or motor vehicle related occupancy that may emit carbon monoxide.

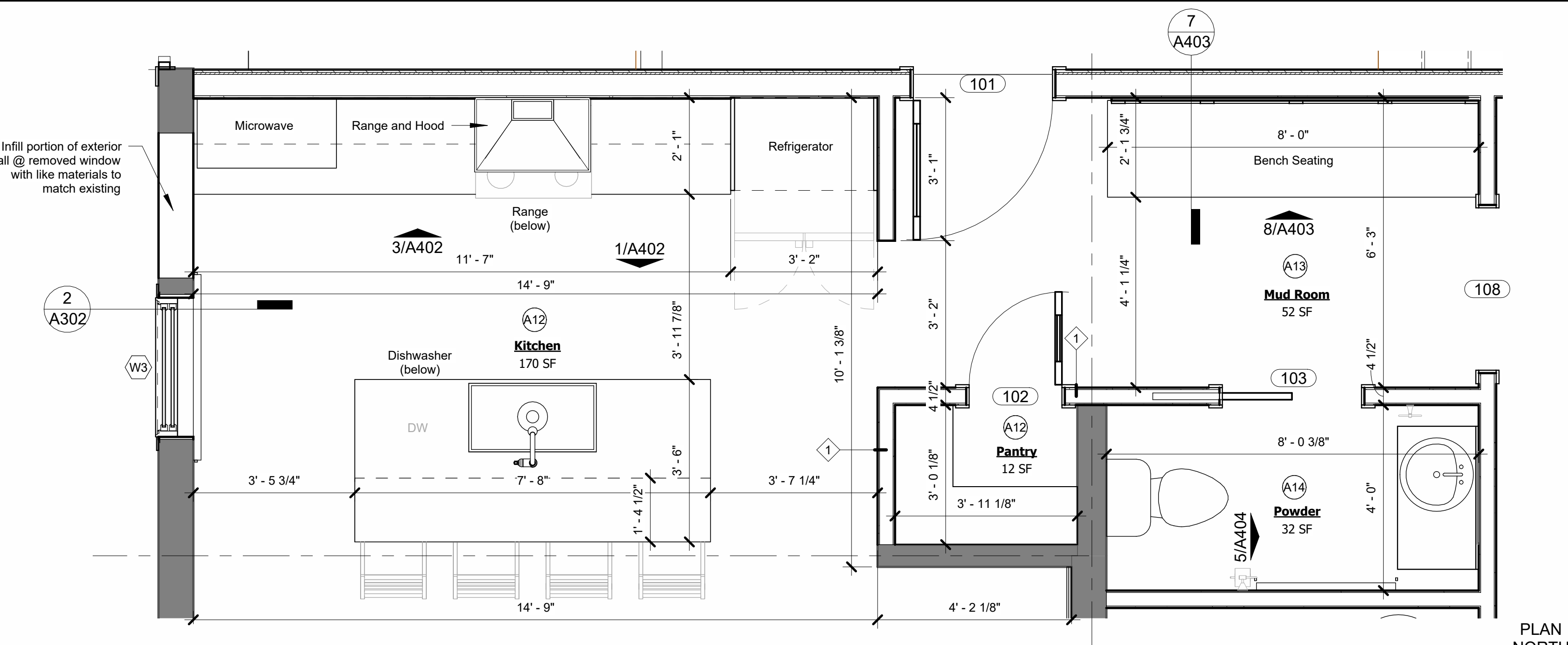
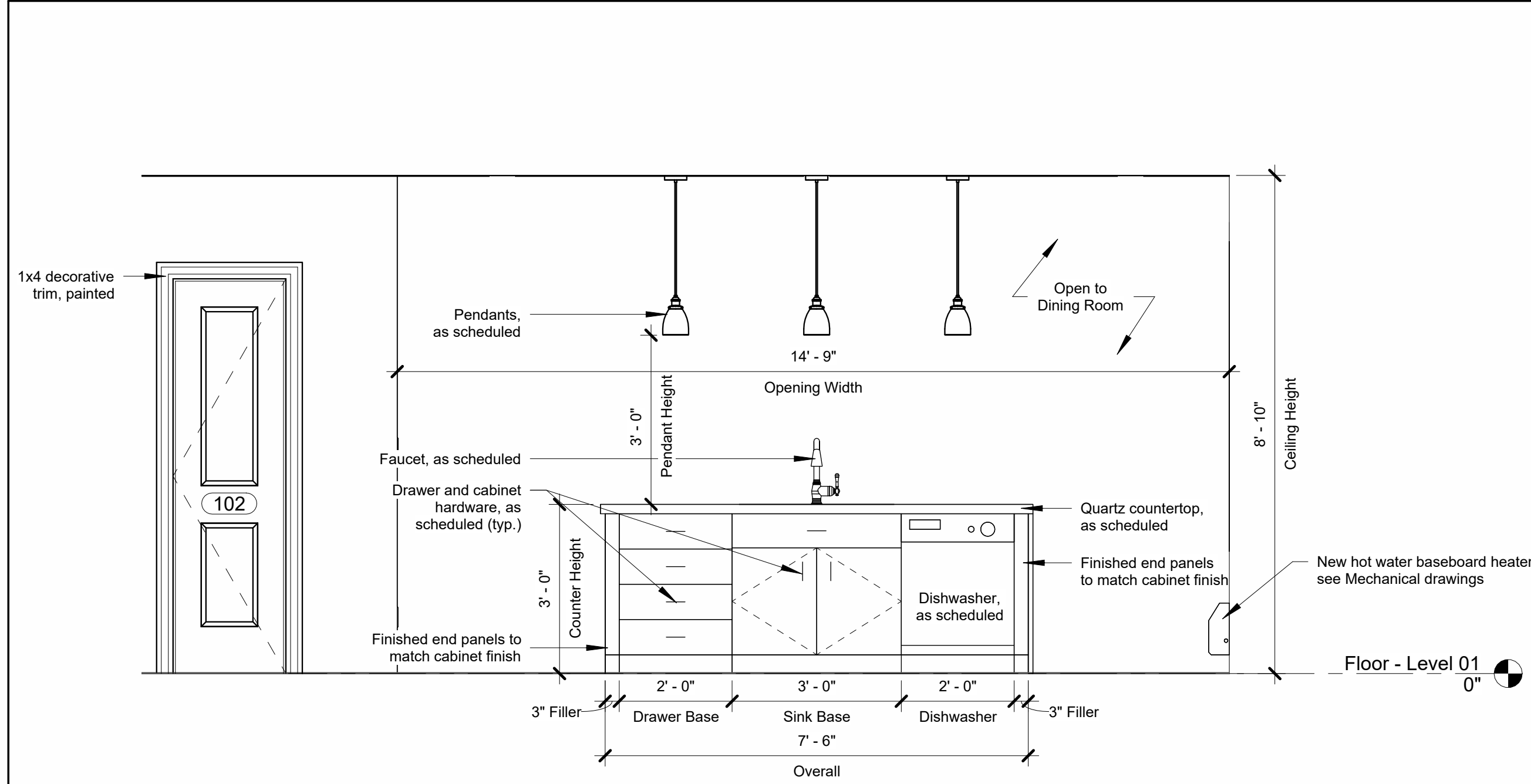
Note:
All lighting fixtures to have 3000K LED light bulbs installed.

Ceiling Legend

- New 1/2" GWB ceiling. See drawing A001 for more information.
- Vinyl beadboard soffit paneling over 2x furring. See drawing A001 for more information.

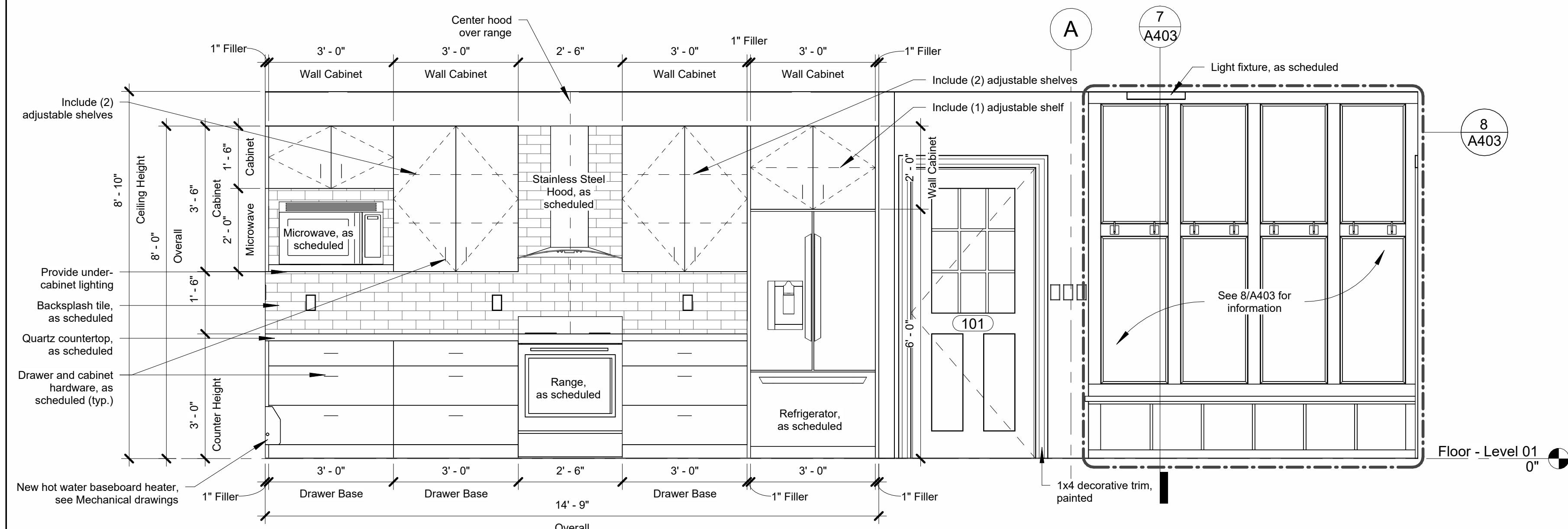
General Note

- Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
- Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
 - All MEP equipment, fixtures and infrastructure to be removed in their entirety



1 Interior Elevation - Kitchen (SOUTH)
1/2" = 1'-0"

2 Kitchen - Enlarged Floor Plan
1/2" = 1'-0"



3 Interior Elevation - Kitchen & Mudroom (NORTH)
1/2" = 1'-0"



4 3D View - Living Room to Kitchen



5 3D Interior Perspective (Kitchen View 1)



6 3D Interior Perspective (Kitchen View 2)



7 3D Interior Perspective (Kitchen View 3)

STUDIO
LOMBARDINI+LAYTON
architecture
134 COURT STREET
BINGHAMTON, NY 13901
607.217.7013
www.L2studioarch.com

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:

Renovations + Reconstruction

Sheet Title

Interior Elevations

Owner: Tioga County
Project Address: 247 Main Street
Owego, NY 13827

Project Number: 25.024

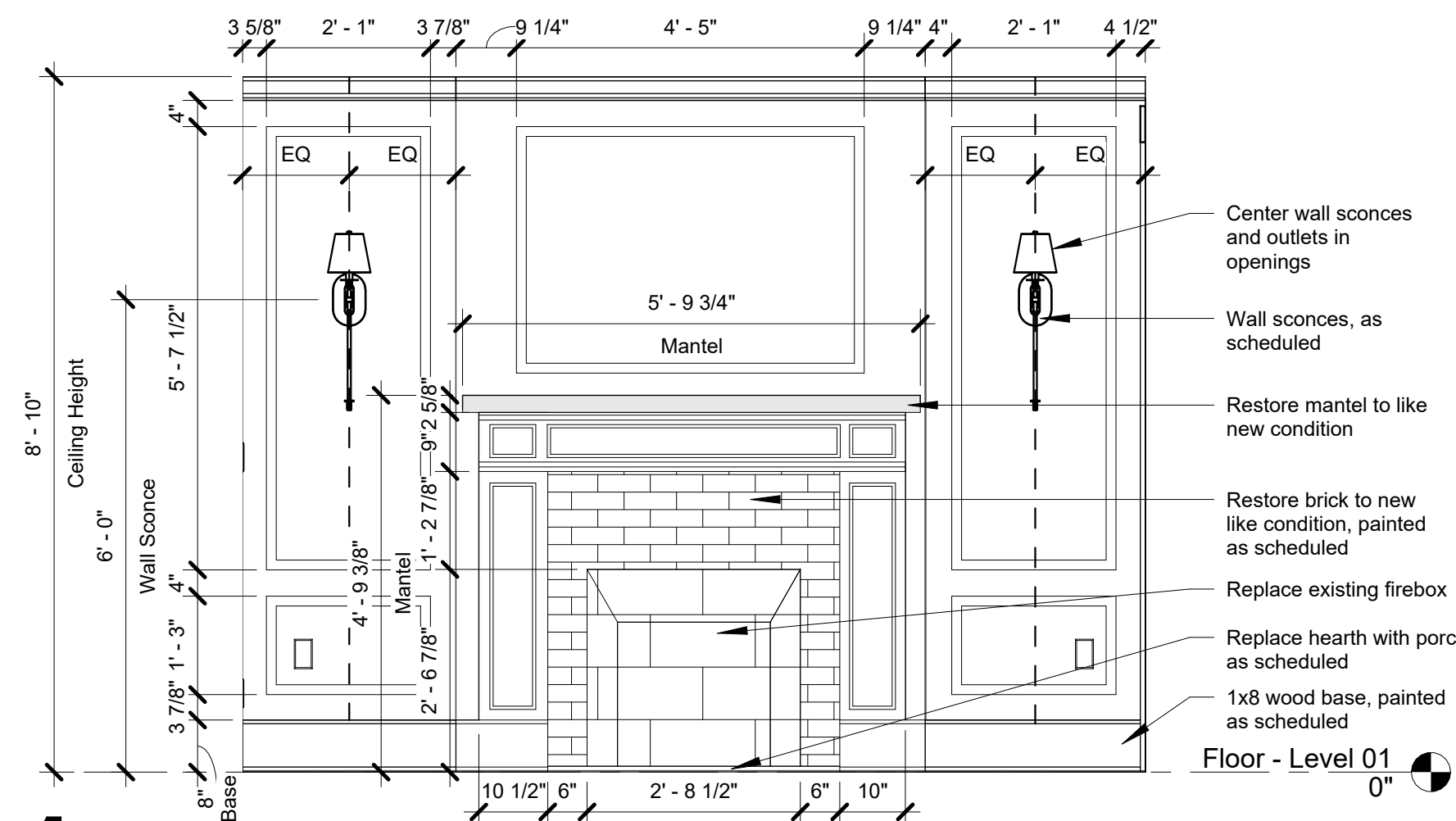
Scale: 1/2" = 1'-0"

Revisions		
No.	Description	Date

Date: 06/25/2026

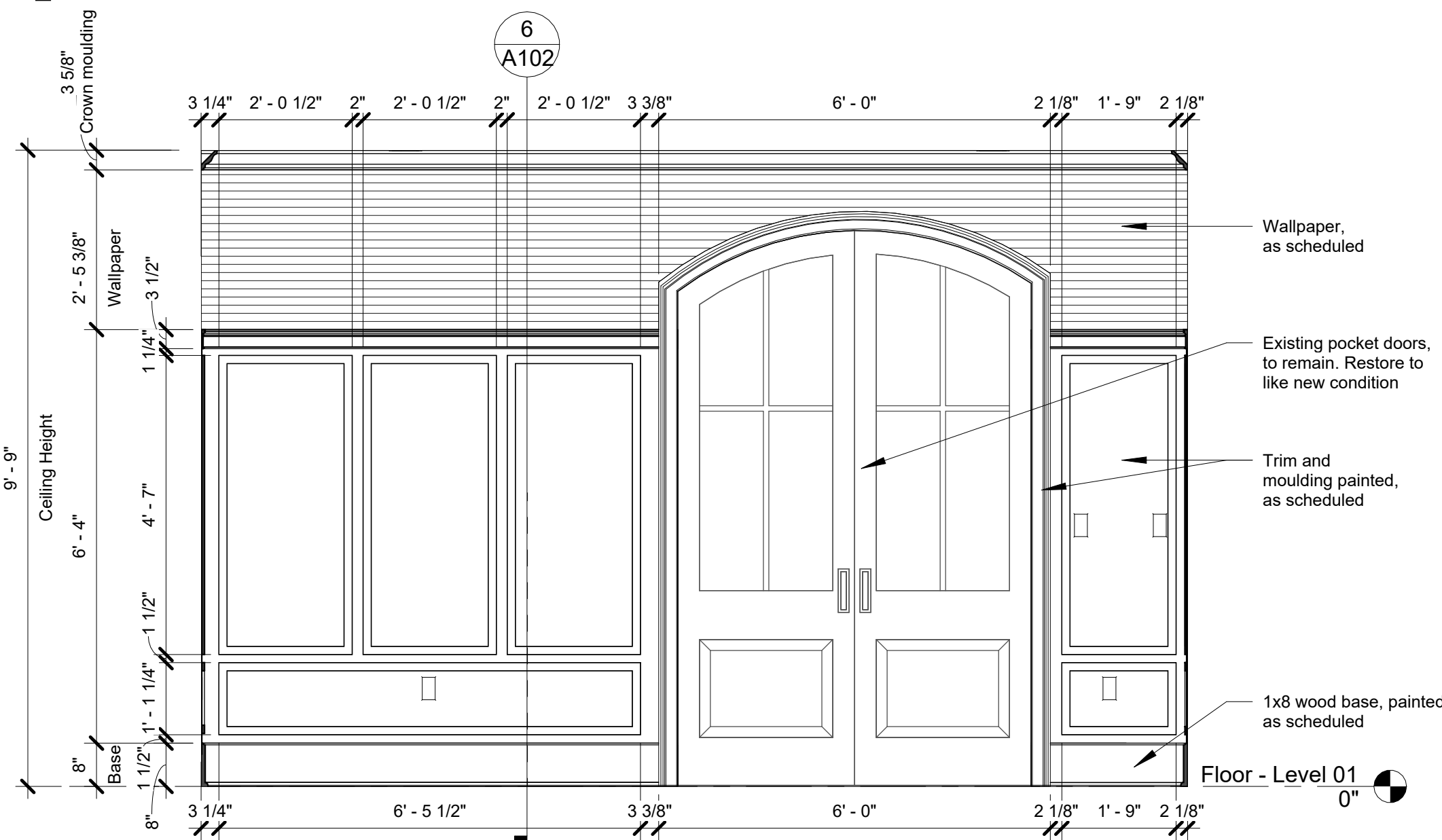
Sheet Number

A402



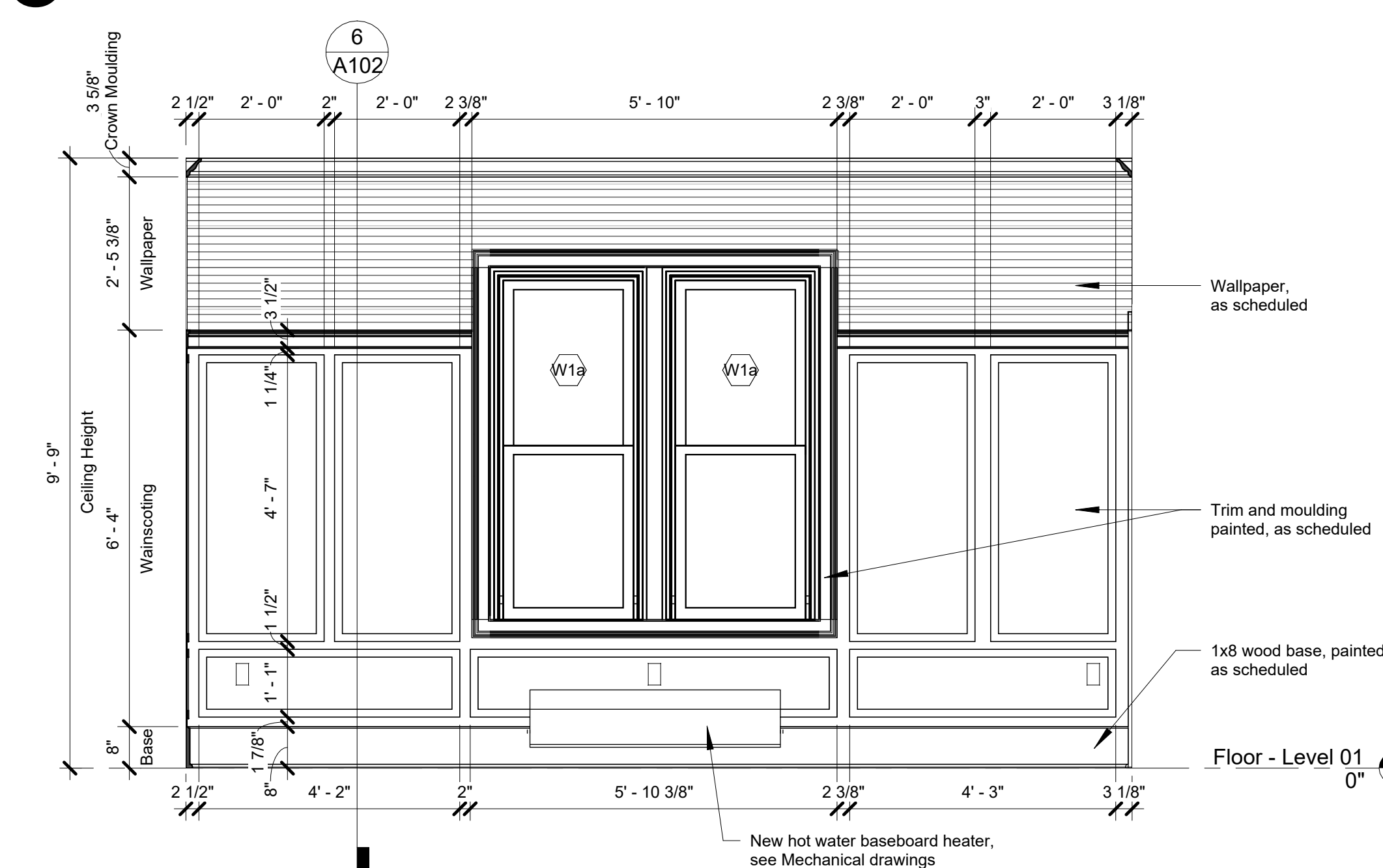
1 Interior Elevation - Fireplace

1/2" = 1'-0"



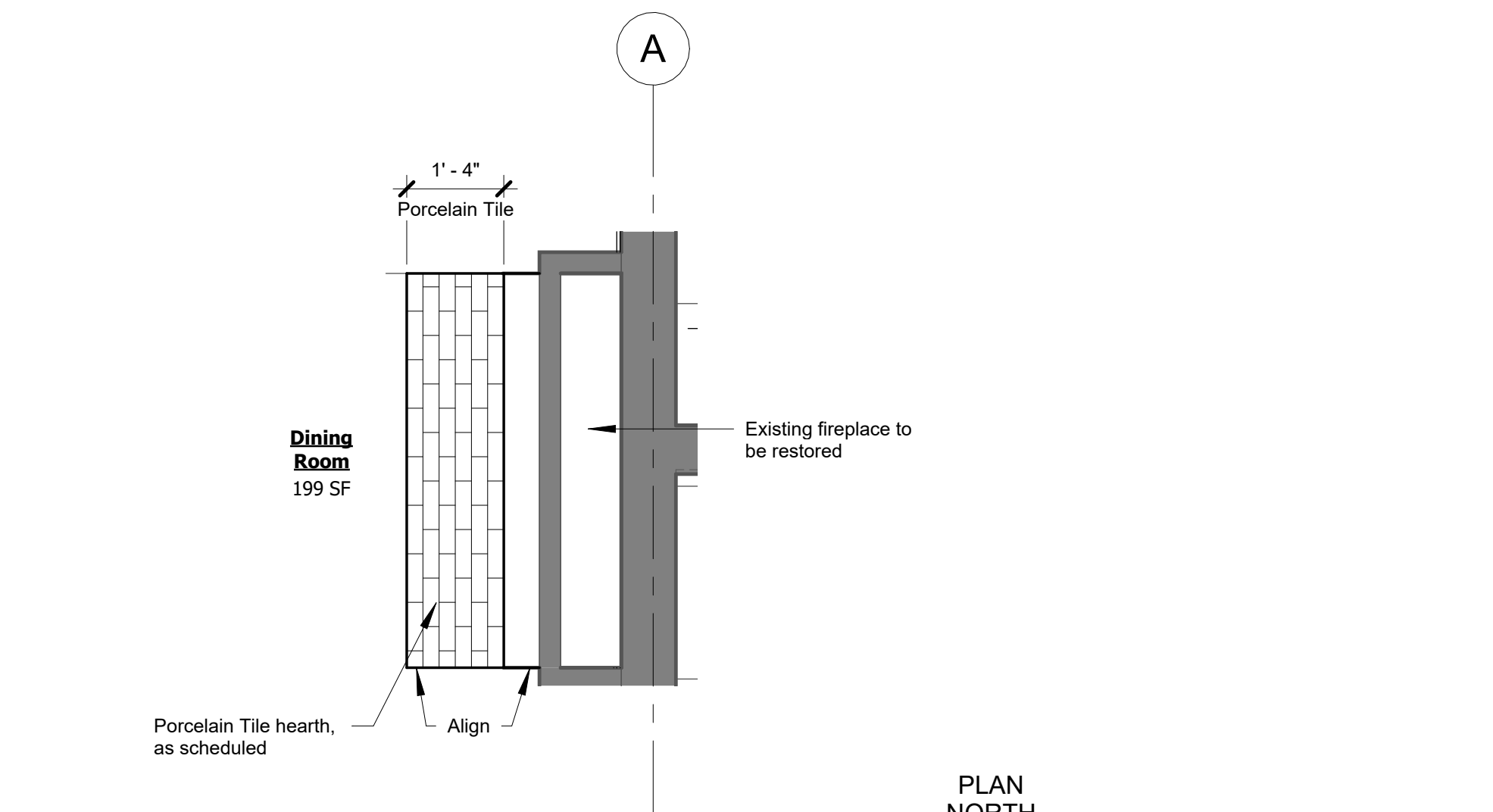
3 Interior Elevation - Parlor (NORTH)

1/2" = 1'-0"



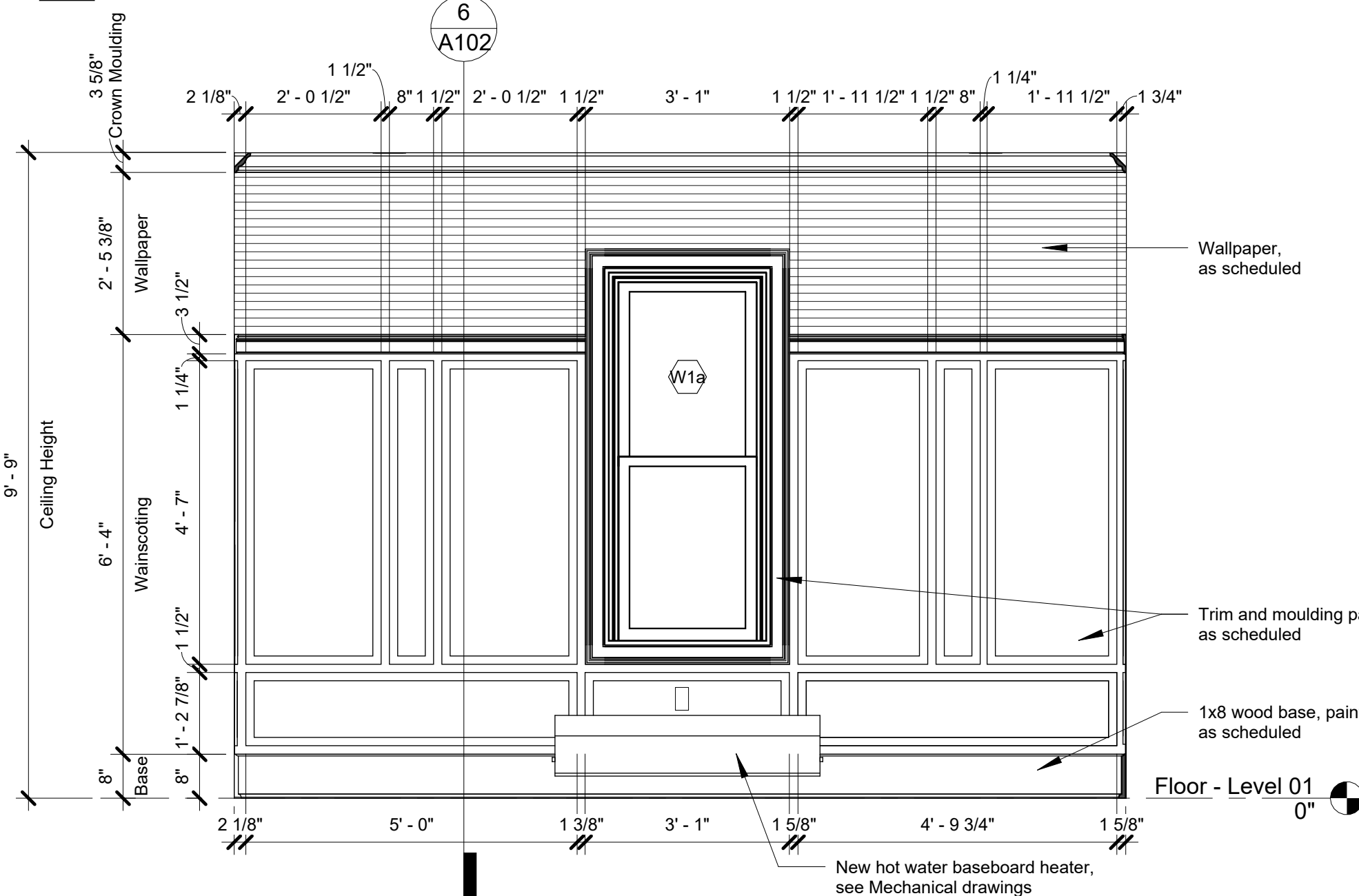
5 Interior Elevation - Parlor (SOUTH)

1/2" = 1'-0"



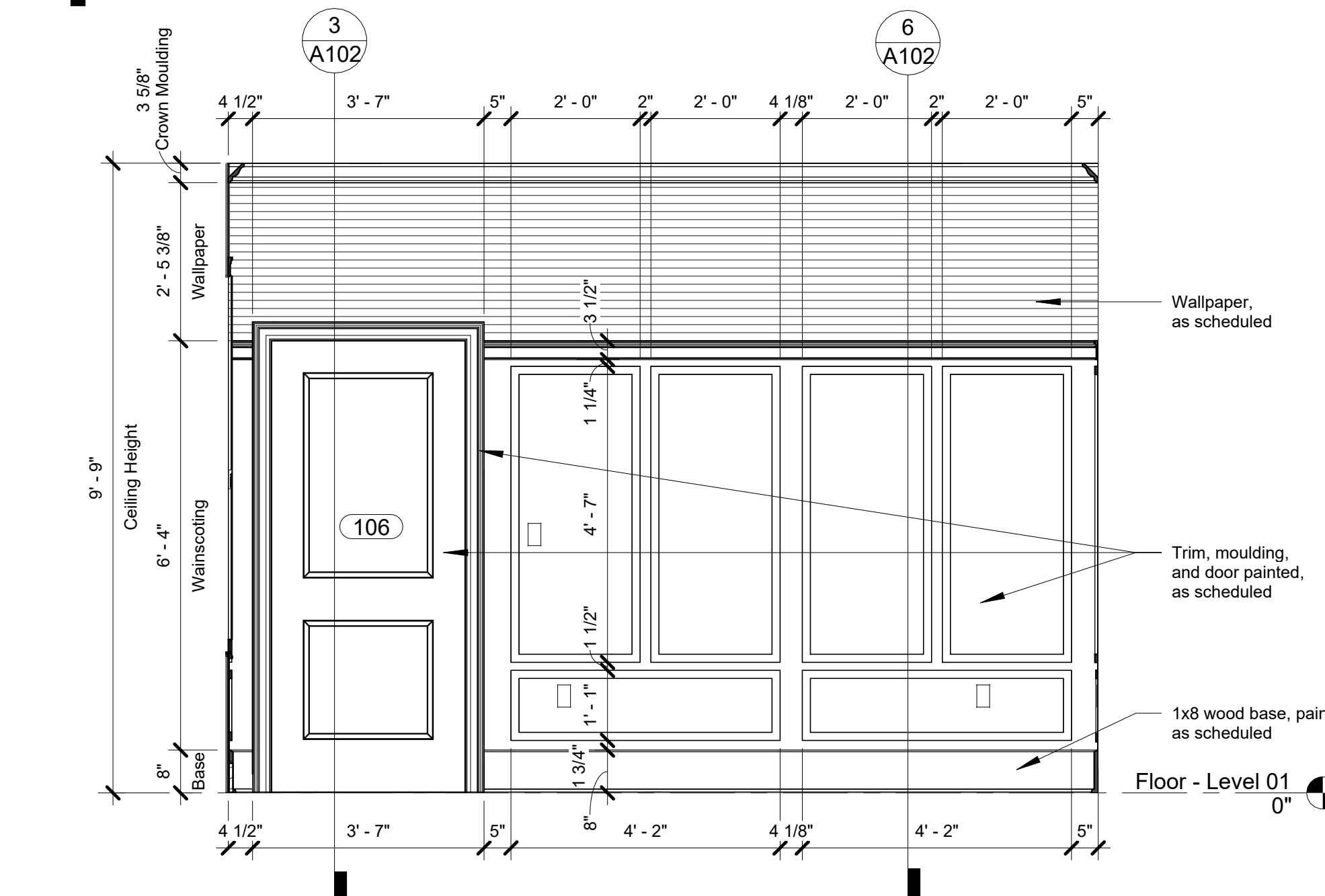
2 Dining Room Fireplace - Enlarged Floor Plan

1/2" = 1'-0"



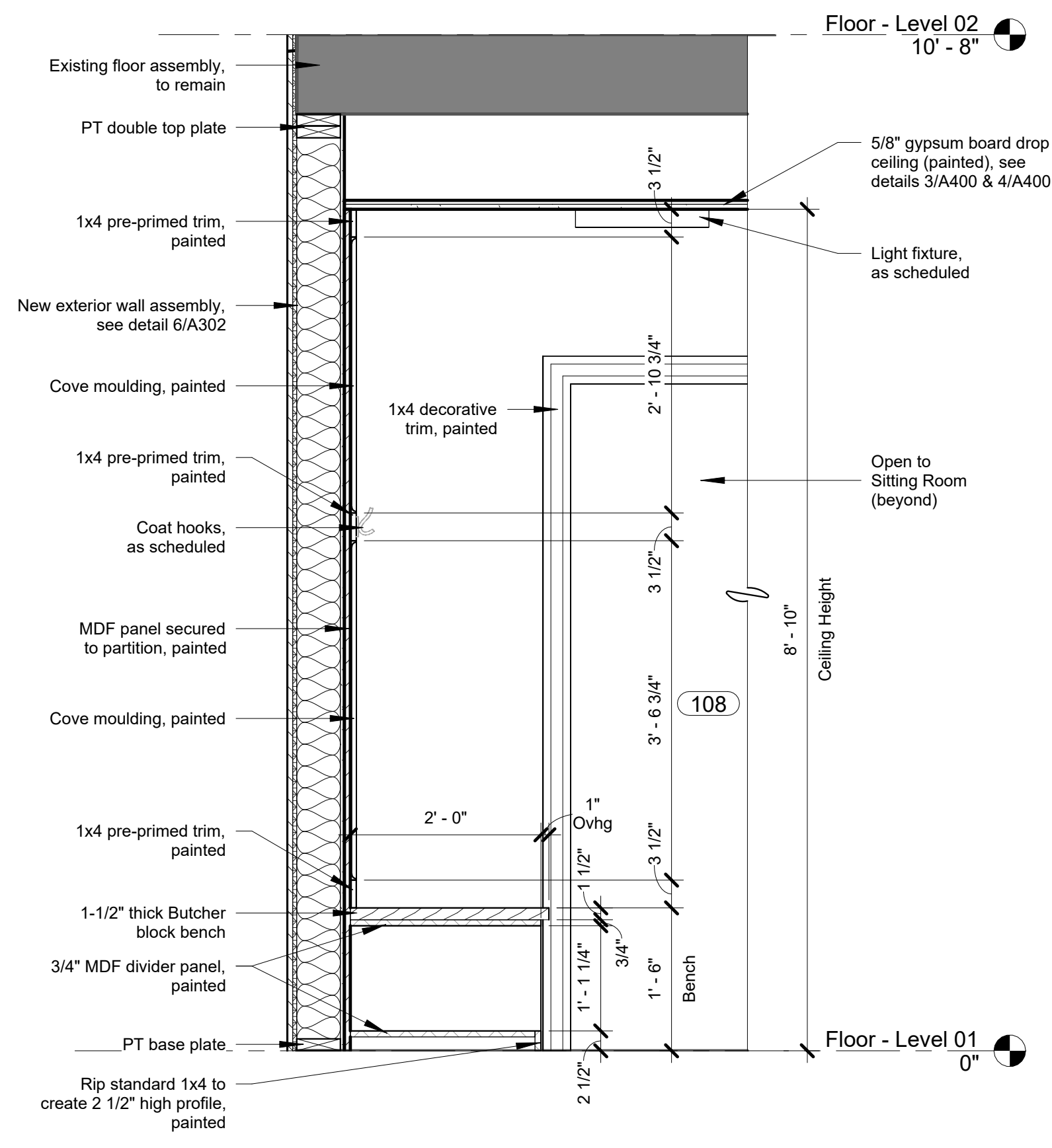
4 Interior Elevation - Parlor (EAST)

1/2" = 1'-0"



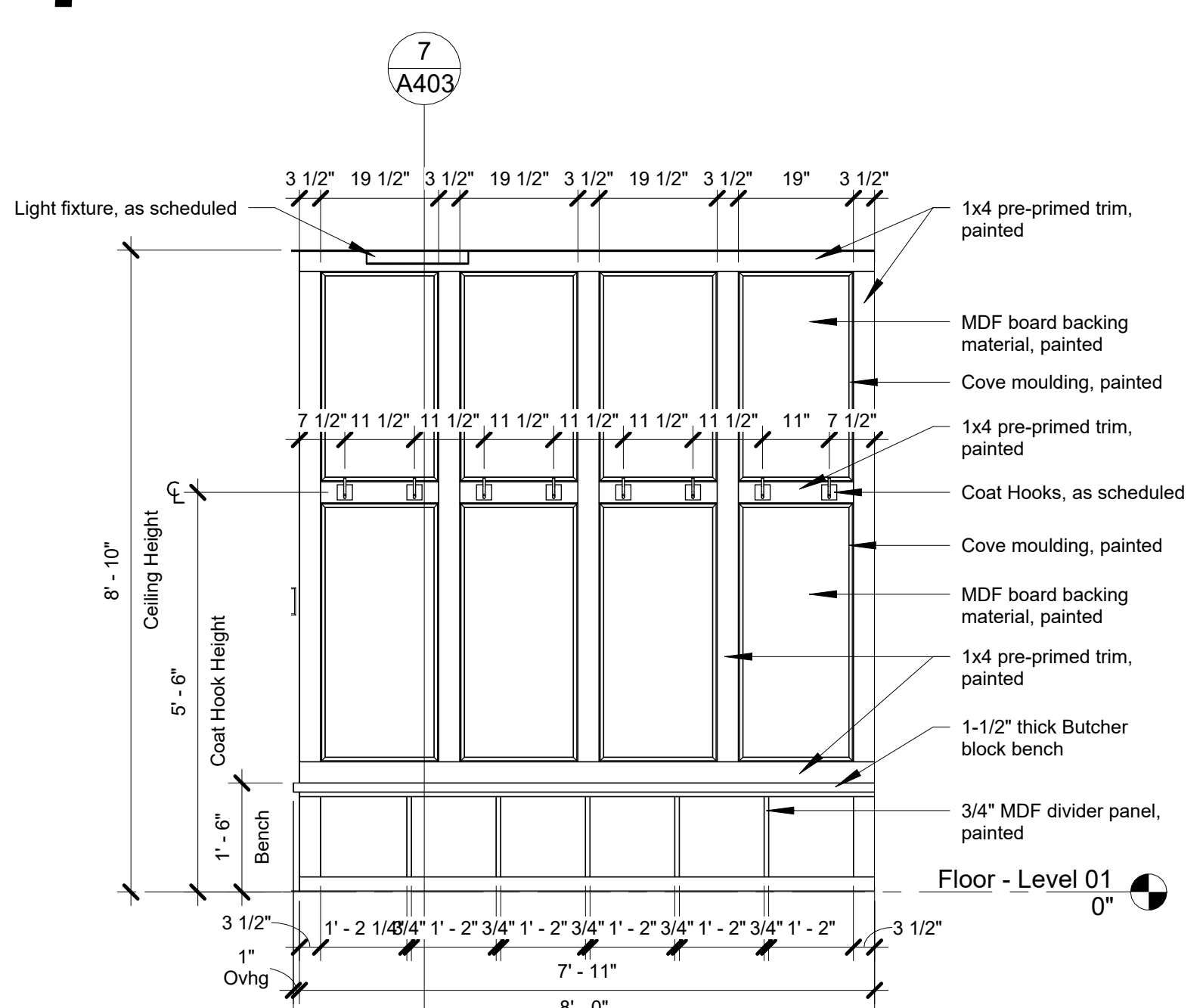
6 Interior Elevation - Parlor (WEST)

1/2" = 1'-0"



7 Section Detail - Mud Room

3/4" = 1'-0"



8 Interior Elevation - Mud Room (NORTH)

1/2" = 1'-0"

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Interior Elevations

Sheet Title

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

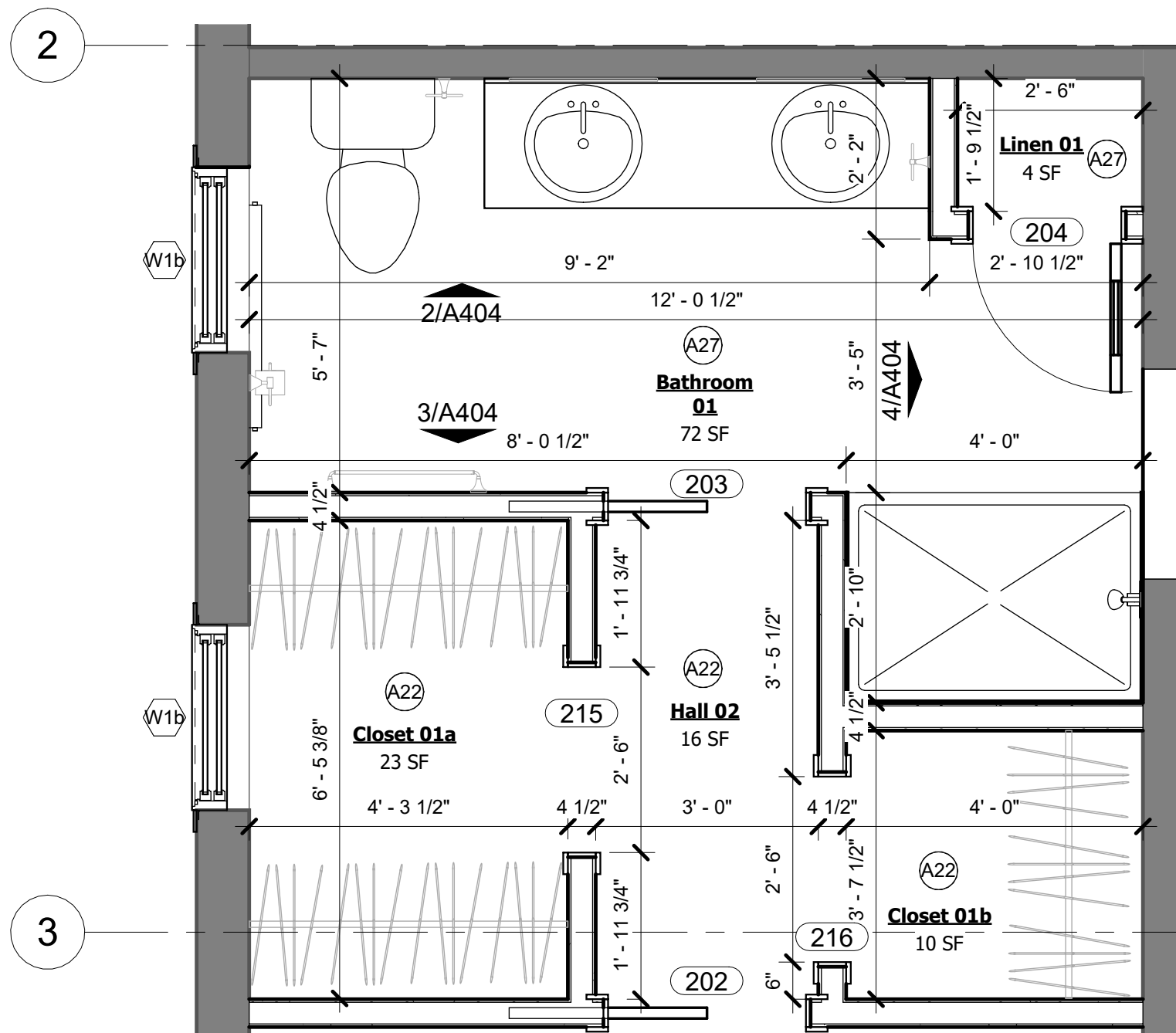
Revisions

No.	Description	Date

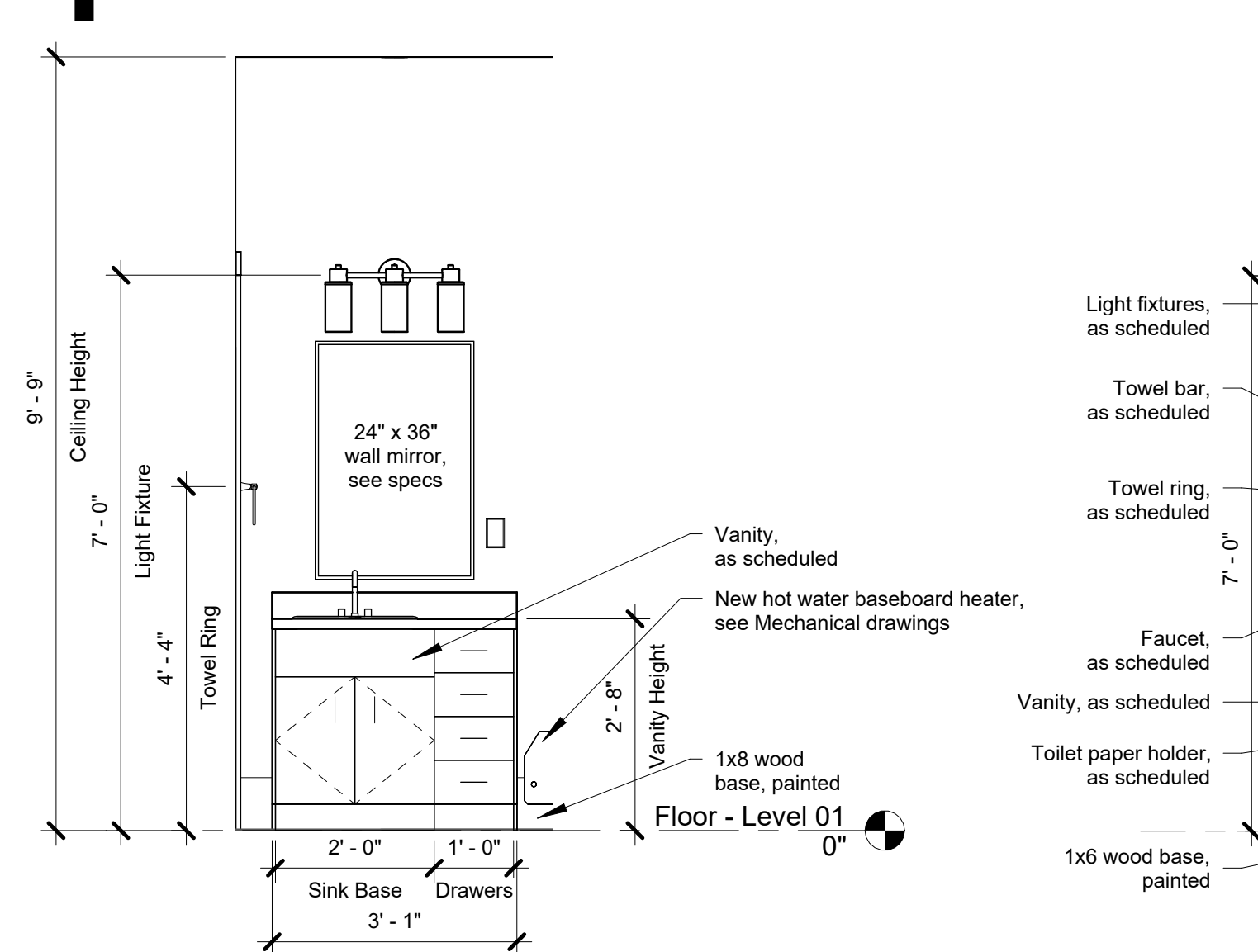
Date: 06/25/2026

Sheet Number

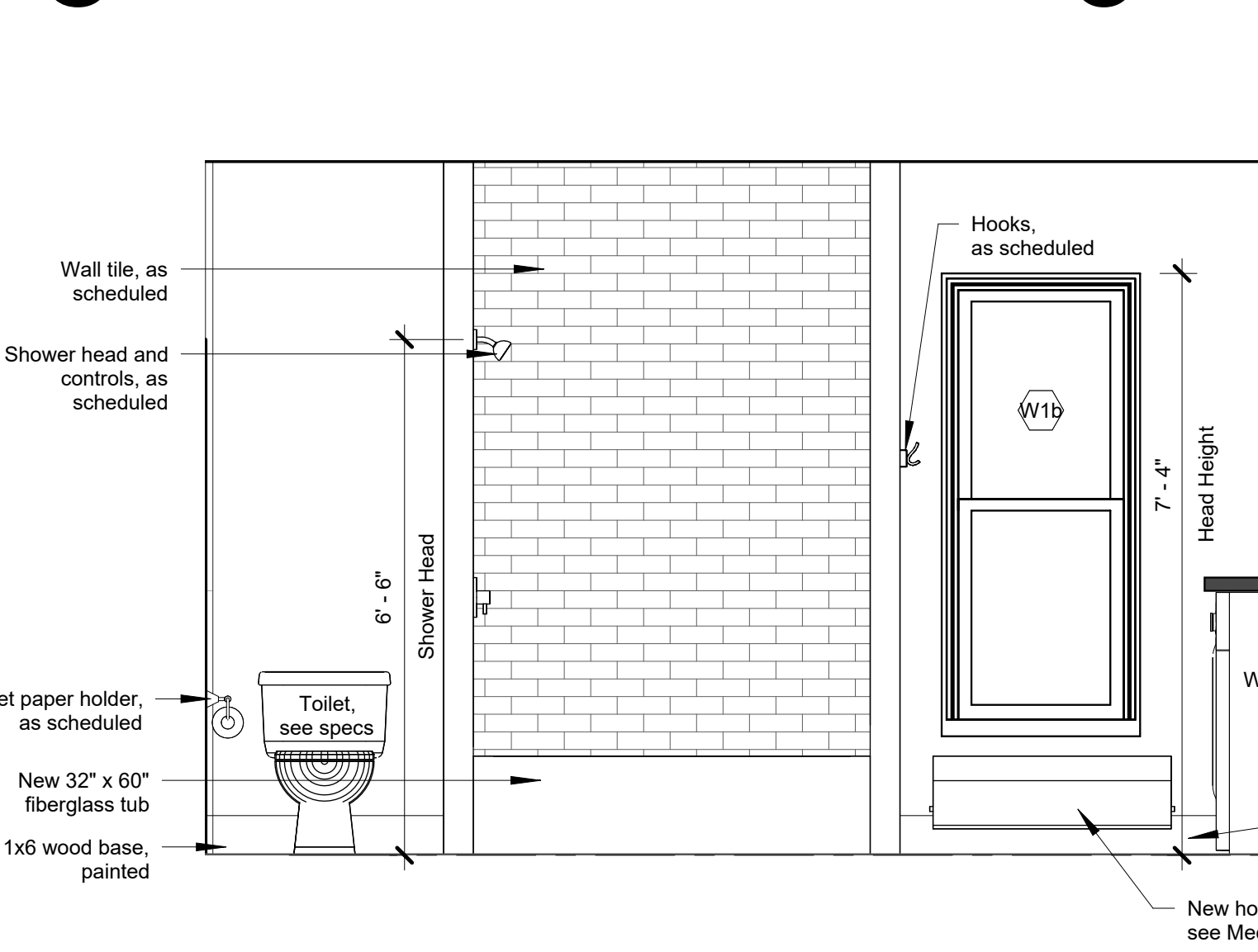
A403



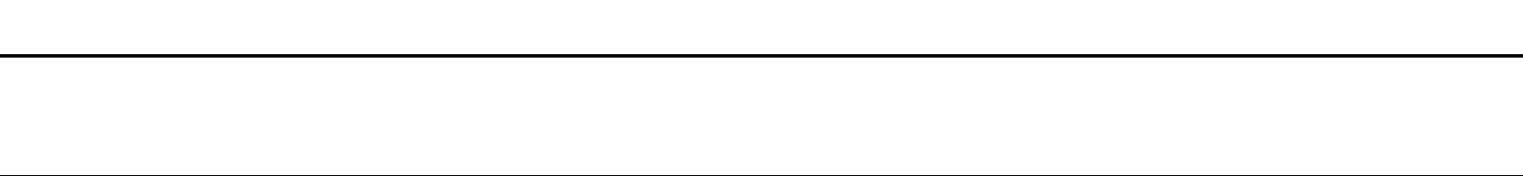
1 Enlarged Plan - Bathroom 01
1/2" = 1'-0"



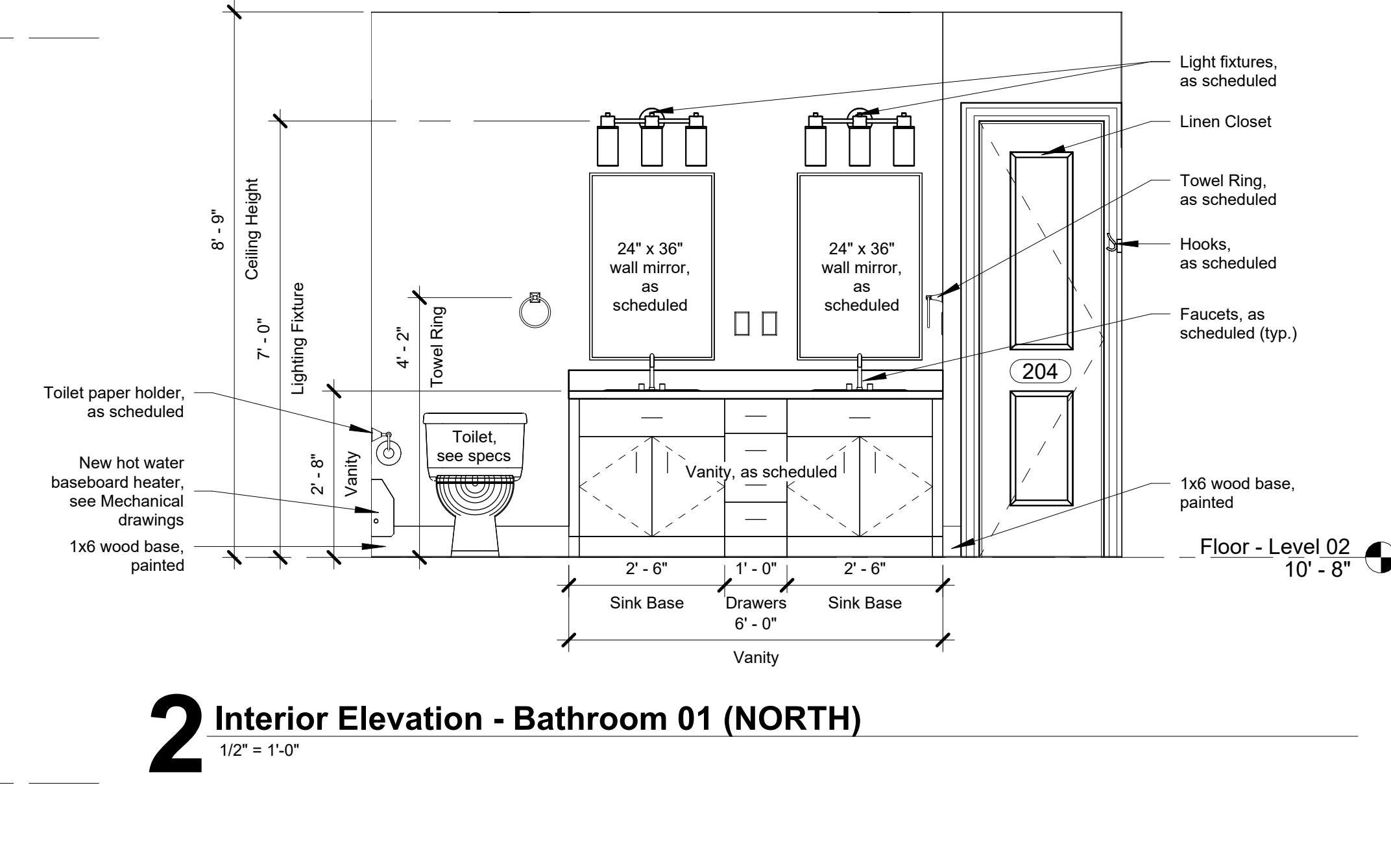
2 Interior Elevation - Bathroom 01 (NORTH)
1/2" = 1'-0"



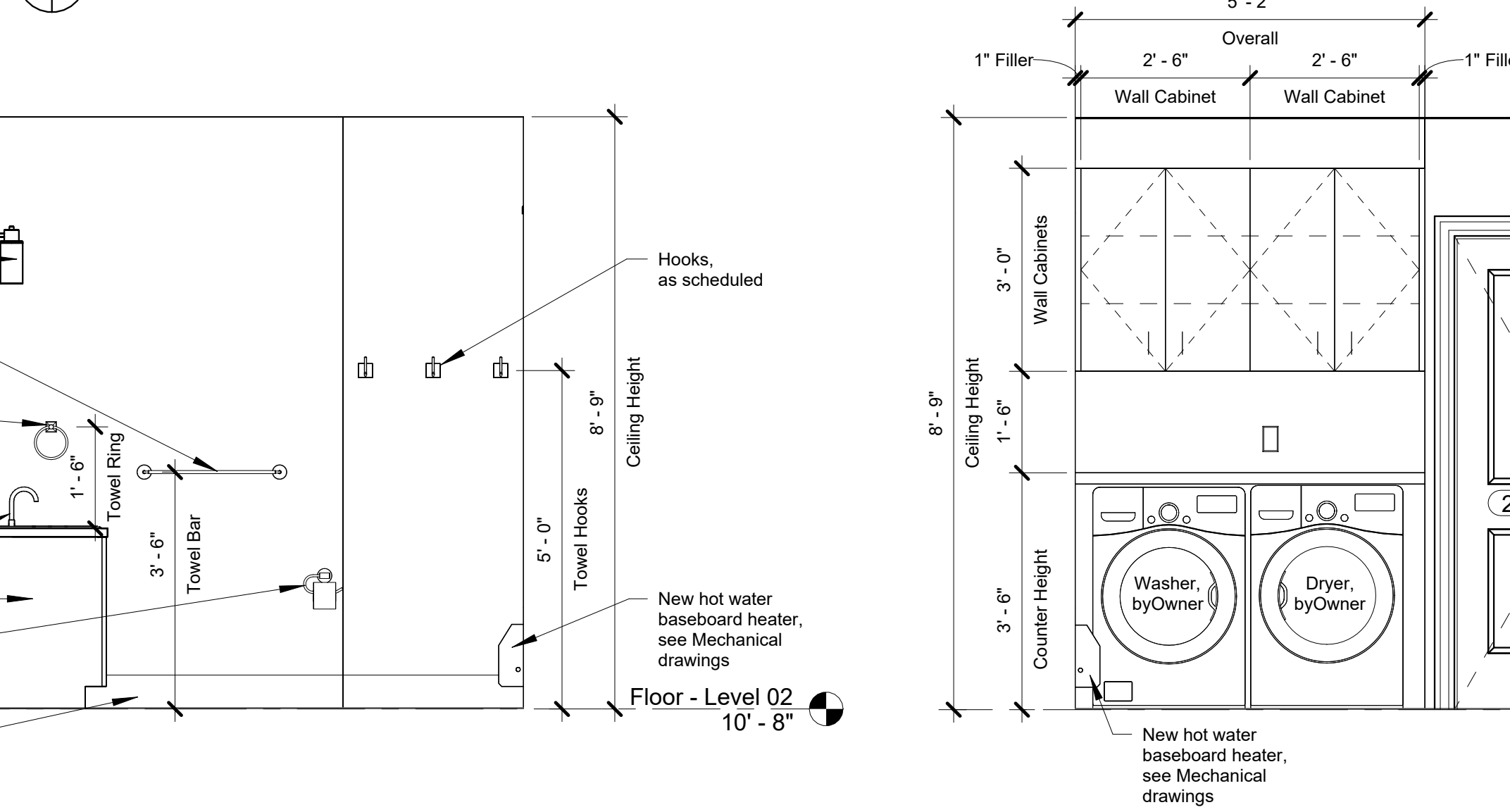
3 Interior Elevation - Bathroom 01 (SOUTH)
1/2" = 1'-0"



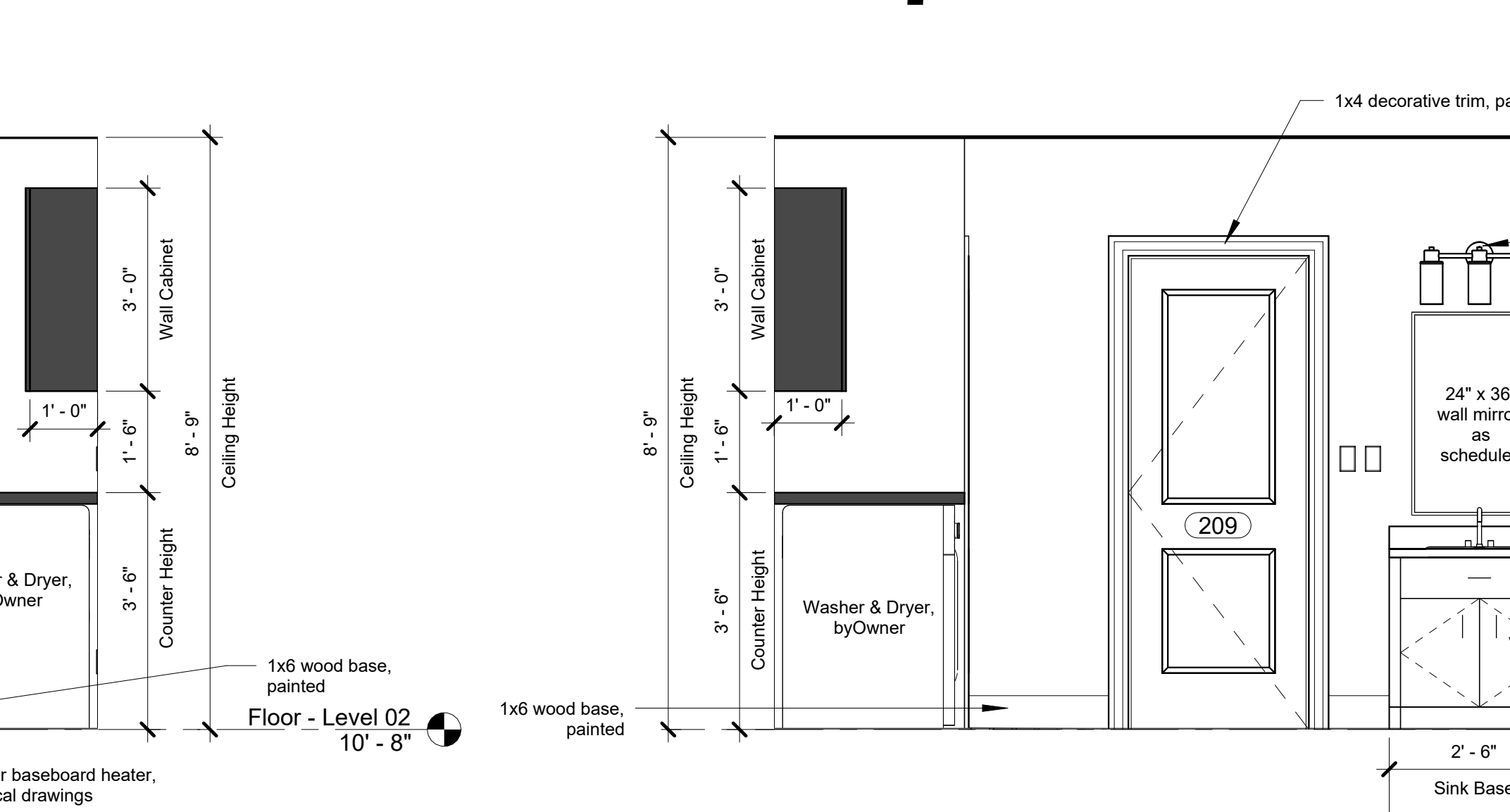
4 Interior Elevation - Bathroom 01 (EAST)
1/2" = 1'-0"



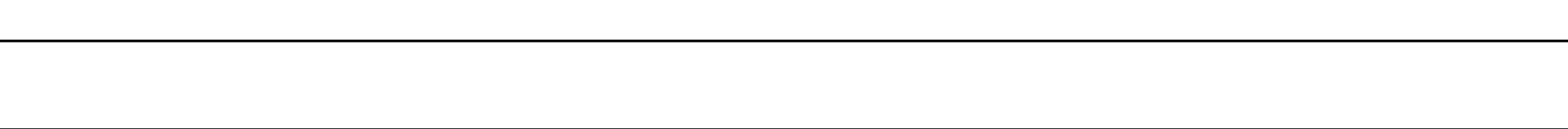
5 Interior Elevation - Powder (EAST)
1/2" = 1'-0"



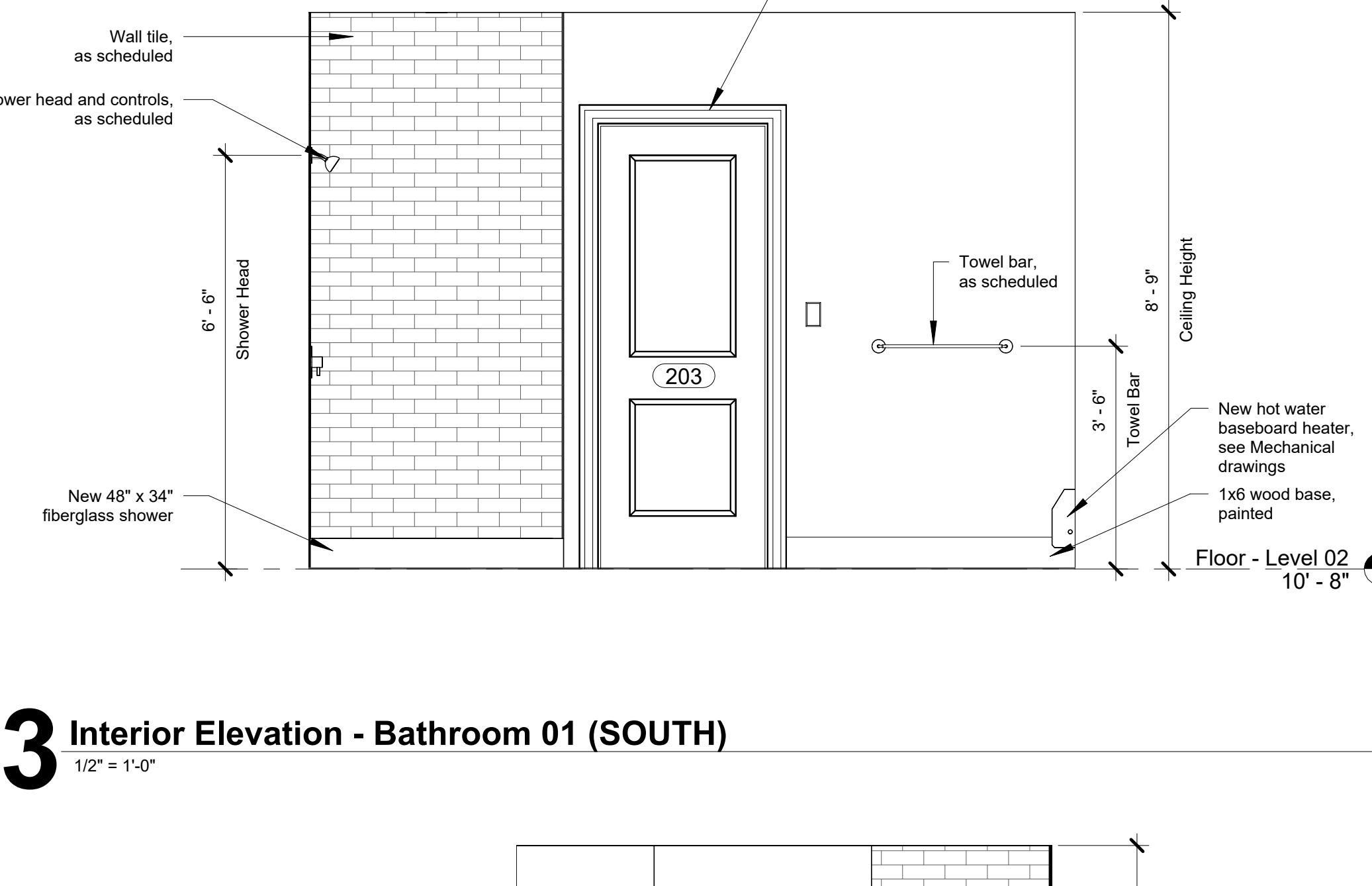
6 Interior Elevation - Bathroom 02/Laundry (NORTH)
1/2" = 1'-0"



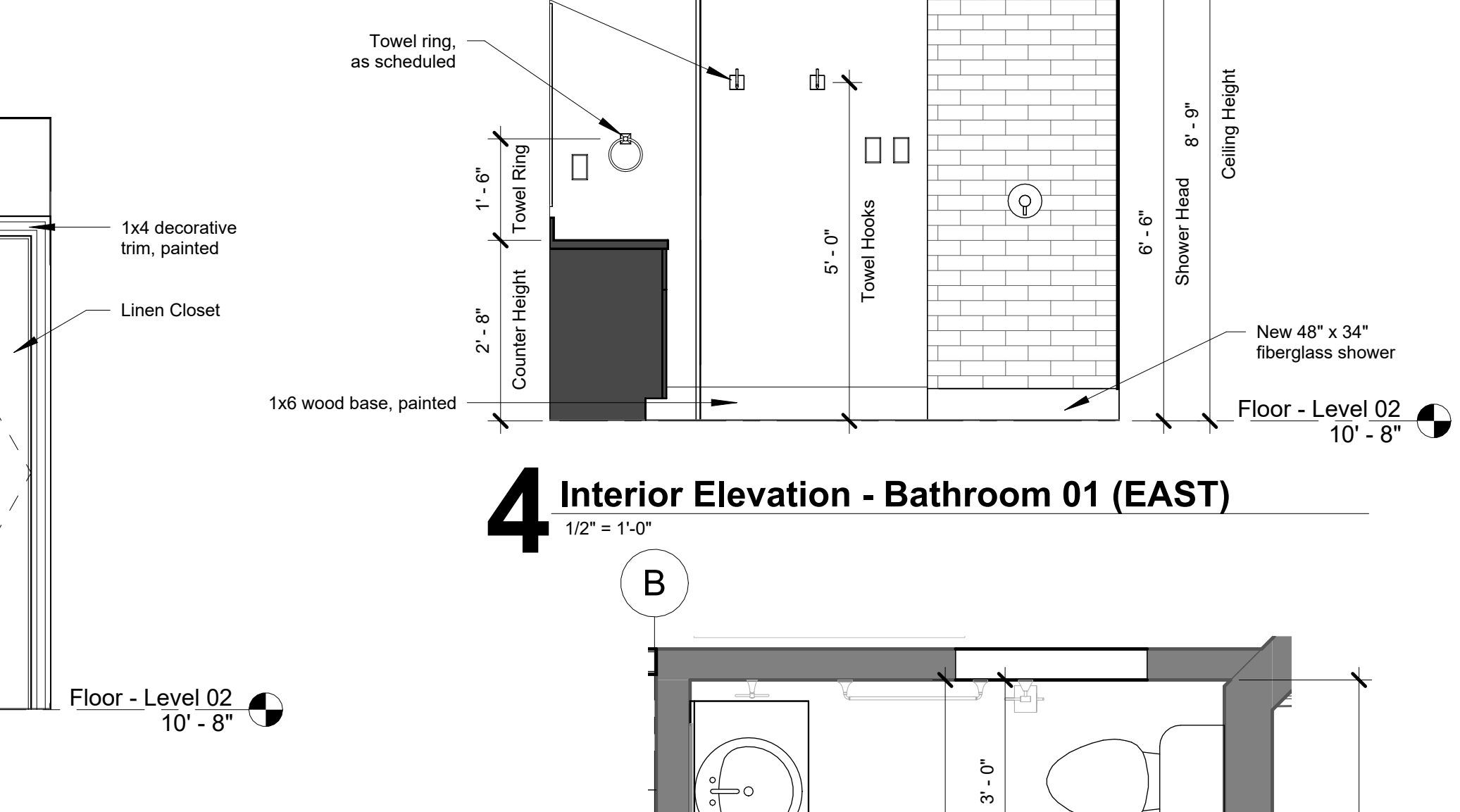
7 Interior Elevation - Bathroom 02/Laundry (SOUTH)
1/2" = 1'-0"



8 Interior Elevation - Bathroom 02/Laundry (EAST)
1/2" = 1'-0"



9 Interior Elevation - Bathroom 02/Laundry (WEST)
1/2" = 1'-0"



10 Bathroom 02/Laundry Enlarged Floor Plan
1/2" = 1'-0"

134 COURT STREET
BINGHAMTON, NY 13901
607.217.7013
www.L2studioarch.com

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this drawing in any way. If alterations are made to this drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:

Renovations + Reconstruction

Interior Elevations

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Sheet Title

Project Number: 25.024

Scale: 1/2" = 1'-0"

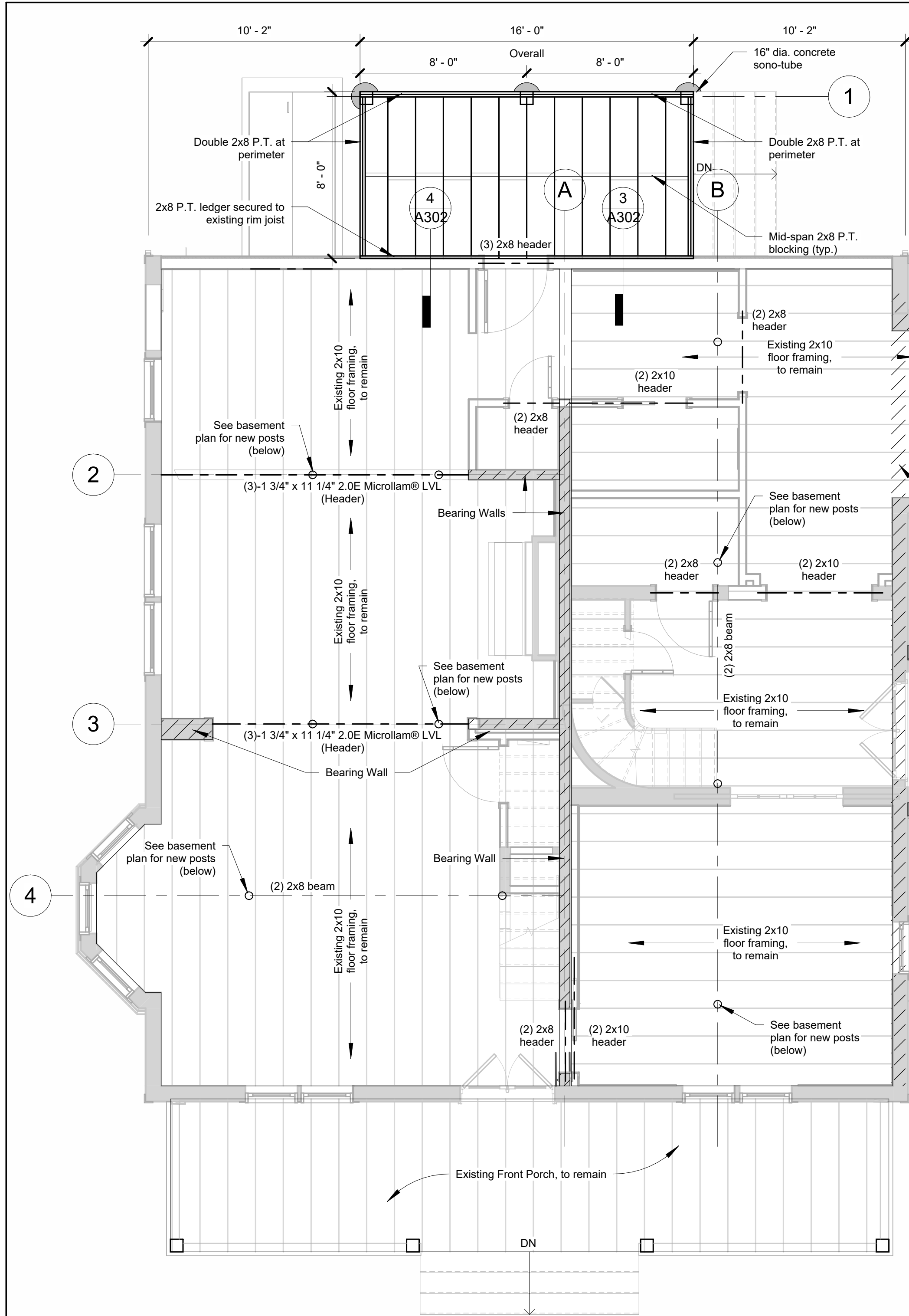
Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

A404



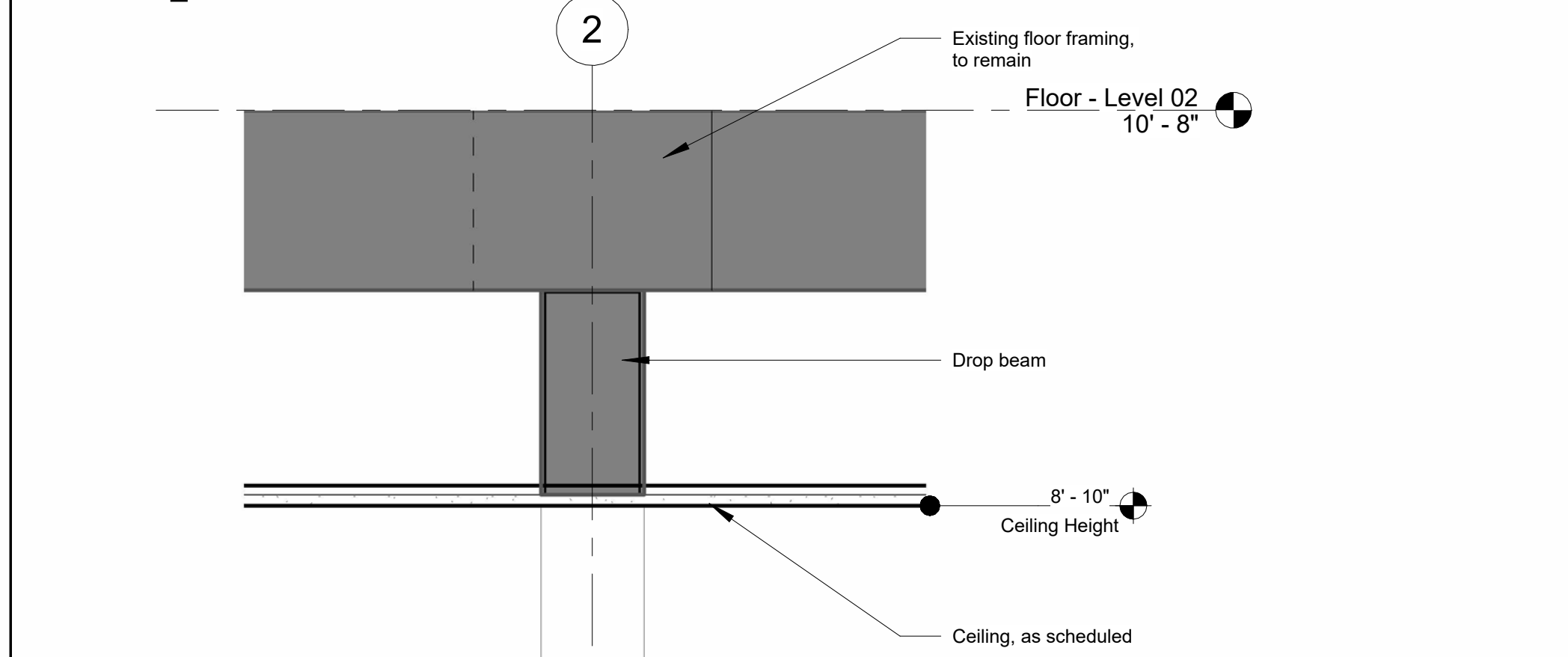
NOTE: Contractor to evaluate each floor framing member, and sister new framing members to reinforce any deemed deteriorated or compromised.

NOTE: Contractor to retrofit/install joist hangers at all existing floor framing connections to existing wood beams, typical.

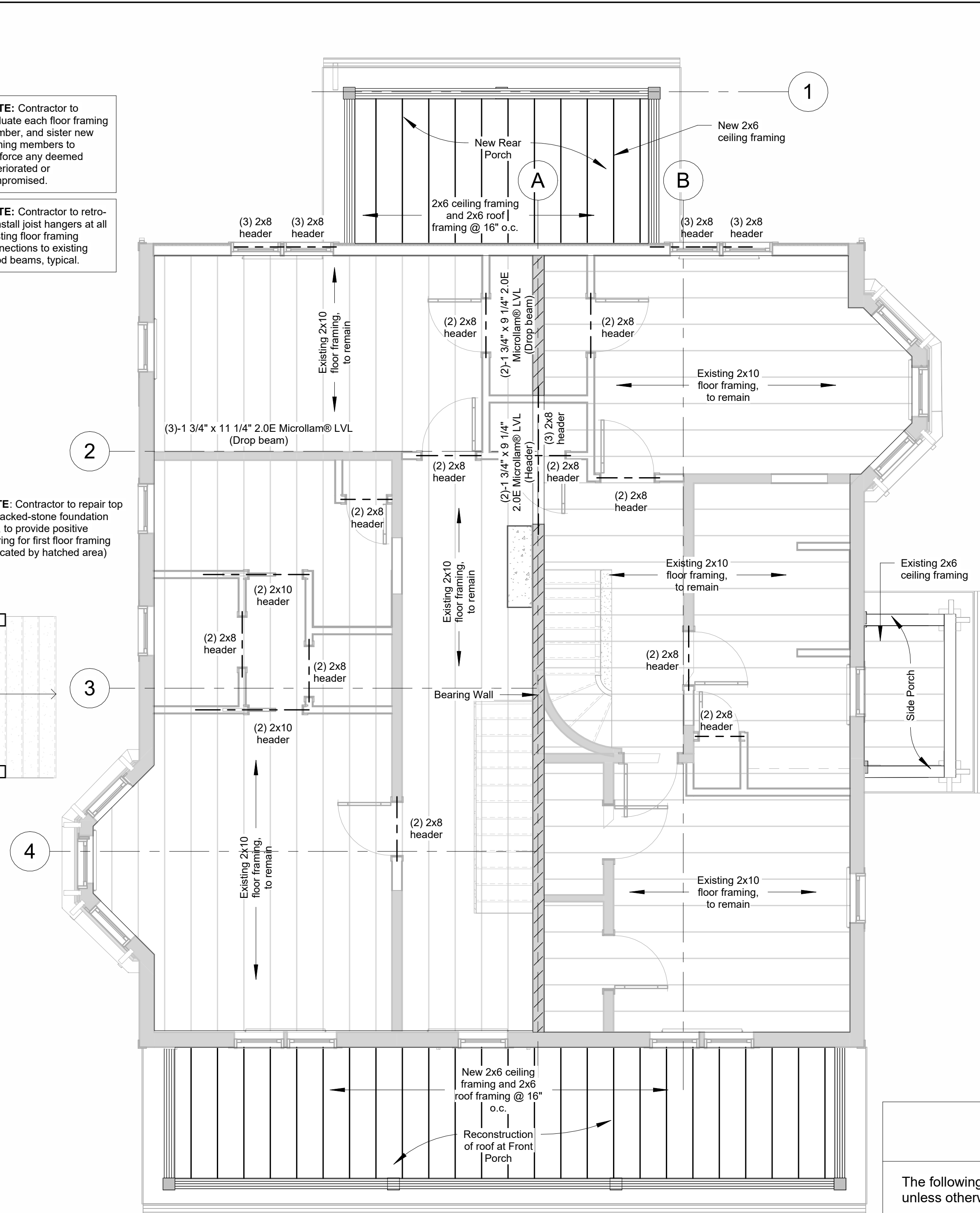
NOTE: Contractor to repair top of stacked-stone foundation wall, to provide positive bearing for first floor framing (indicated by hatched area)



1 First Level Floor Framing Plan
1/4" = 1'-0"



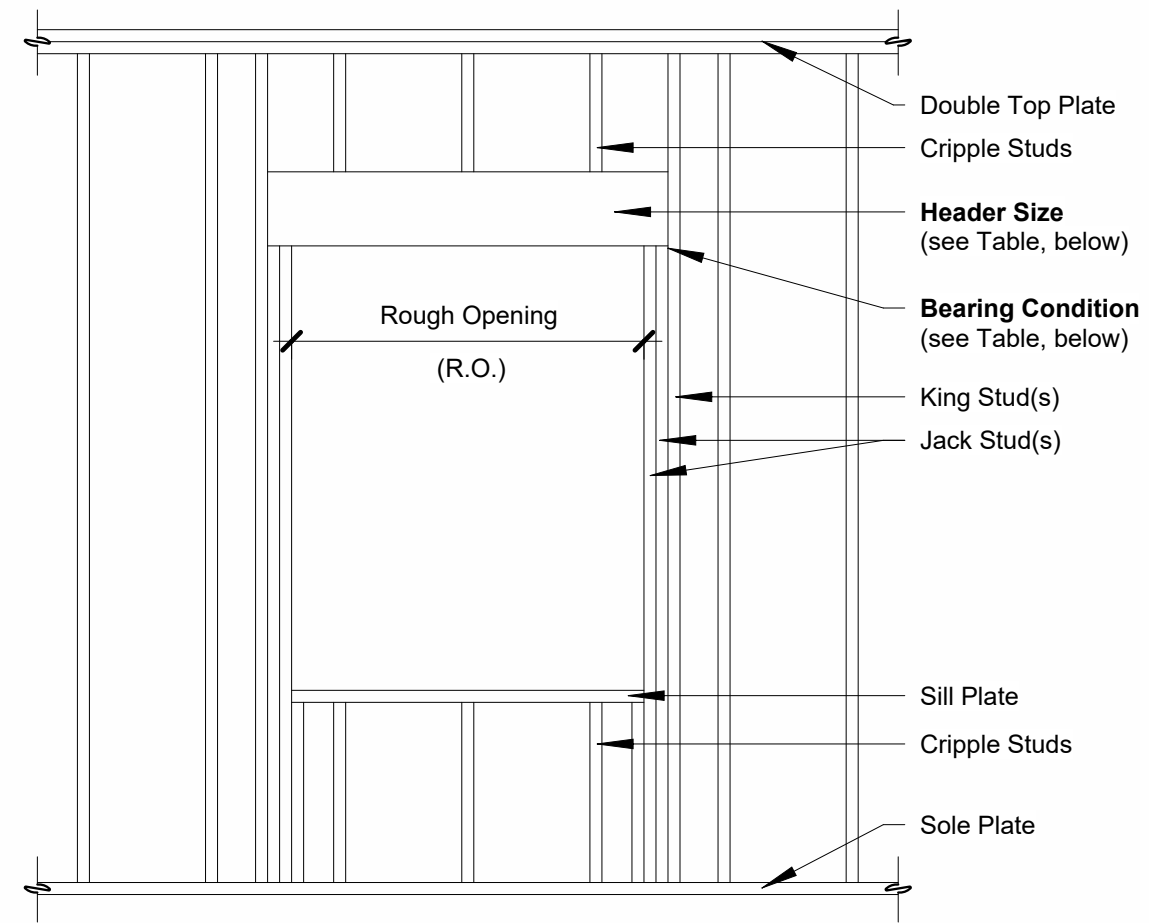
3 Typical Drop Beam Detail
1 1/2" = 1'-0"



2 Second Level Floor Framing Plan
1/4" = 1'-0"

Structural Design Criteria	
FLOOR LOADS	
Main Living Levels:	40 PSF LIVE LOAD, 15 PSF DEAD LOAD, L/A = 360
Sleeping Levels:	30 PSF LIVE LOAD, 15 PSF DEAD LOAD, L/A = 360
Attic Levels:	20 PSF LIVE LOAD, 15 PSF DEAD LOAD, L/A = 240
(storage, only)	
Exterior Decks:	40 PSF LIVE LOAD, 15 PSF DEAD LOAD, L/A = 240
Exterior Balconies:	60 PSF LIVE LOAD, 15 PSF DEAD LOAD, L/A = 360
ROOF LOADS	
Ground Snow Load:	40 PSF LIVE LOAD, L/A = 240
LATERAL FORCES	
Wind Load:	90 MPH EXPOSURE B
Seismic Load:	B, SOIL SITE CLASS D

- Wood Framing General Notes**
- Wood Framing**
1. Dimensional lumber (interior) shall meet spruce-pine-fir no.1/no.2 published design values in national design specification for wood 2018 (NDS) unless noted otherwise.
 2. All lumber in contact with concrete or grade shall be pressure treated and shall meet southern pine no. 2 published design values in NDS.
 3. All specified Composite Lumber (LSL, LVL, PSL) shall be manufactured and labeled as Trus Joist Products by Weyerhaeuser. Genuine Parallam Plus PSL shall be stamped with reference to the treating standards (AWPA U1), third party quality program monitor, preservative retention, and treater. No alternatives, modifications or substitutions are allowed unless approved by the project Architect/ Engineer.
 4. Refer to table R602.3(1) for fastening schedule for wood construction members.
- Framing Connectors, Anchors and Hangers**
1. Framing connectors anchors and hangers noted on drawings shall be manufactured by Simpson Strong-tie Company, Inc.
 2. All products have been referenced from "wood construction connectors catalog 2021-2023" C-C-2021.
 3. Refer to C-C-2021 for appropriate number and type of fasteners for connectors noted in the drawings.



STRUCTURAL HEADER TABLE			
The following general criteria shall be used for constructing wood-framed headers at wall openings, unless otherwise noted on the Drawings.			
EXTERIOR WALLS			
Rough Opening	Header Size	Bearing Condition	Notes
4'-0" wide (and less)	(3) - 2x8	1 Jack 1 King	Include 1" Rigid insulation (R-5) within Header assembly to provide thermal break.
greater than 4'-0", up to 8'-0" wide	(3) - 2x10	2 Jack 1 King	Include 1" Rigid insulation (R-5) within Header assembly to provide thermal break.
greater than 8'-0" wide	See Drawings	See Drawings	Include 1" Rigid insulation (R-5) within Header assembly to provide thermal break.
INTERIOR WALLS (structural/bearing)			
Rough Opening	Header Size	Bearing Condition	Notes
4'-0" wide (and less)	(2) - 2x8	1 Jack 1 King	Include plywood spacer within header assembly to match Header to wall Framing depth.
greater than 4'-0", up to 8'-0" wide	(2) - 2x10	2 Jack 1 King	Include plywood spacer within header assembly to match Header to wall Framing depth.
greater than 8'-0" wide	See Drawings	See Drawings	Include plywood spacer within header assembly to match Header to wall Framing depth.
INTERIOR WALLS (non-bearing)			
Rough Opening	Header Size	Bearing Condition	Notes
4'-0" wide (and less)	(2) - 2x6	1 Jack 1 King	
greater than 4'-0", up to 8'-0" wide	(2) - 2x8	1 Jack 1 King	
greater than 8'-0" wide	See Drawings	See Drawings	

General Note

1. Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
2. Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
3. Mechanical, Electrical and Plumbing (MEP) Removals
A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

134 COURT STREET
BINGHAMTON, NY 13901
607.217.7013
www.L2studioarch.com

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:

Renovations + Reconstruction

Sheet Title
First and Second Level Floor Framing Plans

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

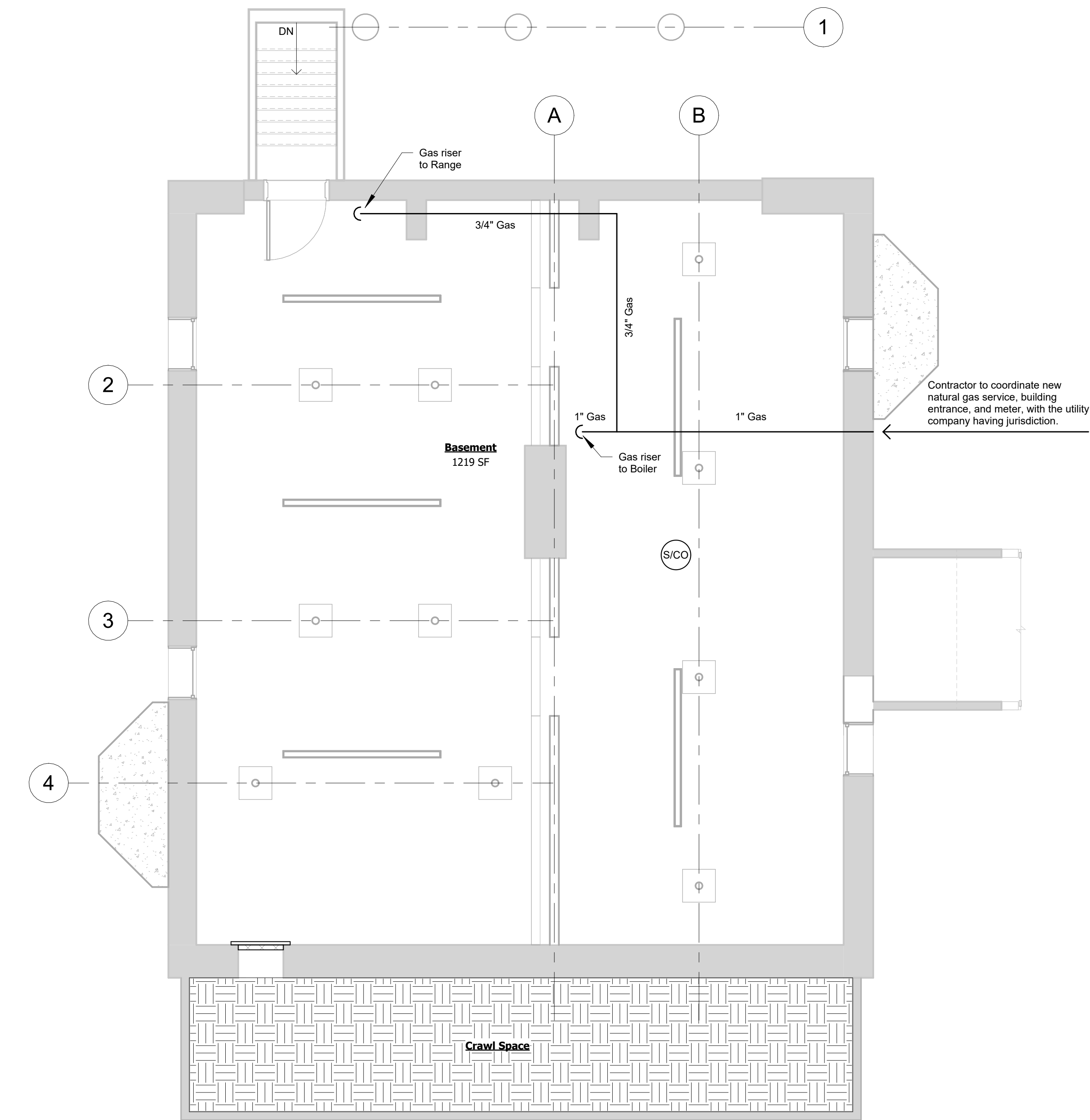
Revisions

No.	Description	Date

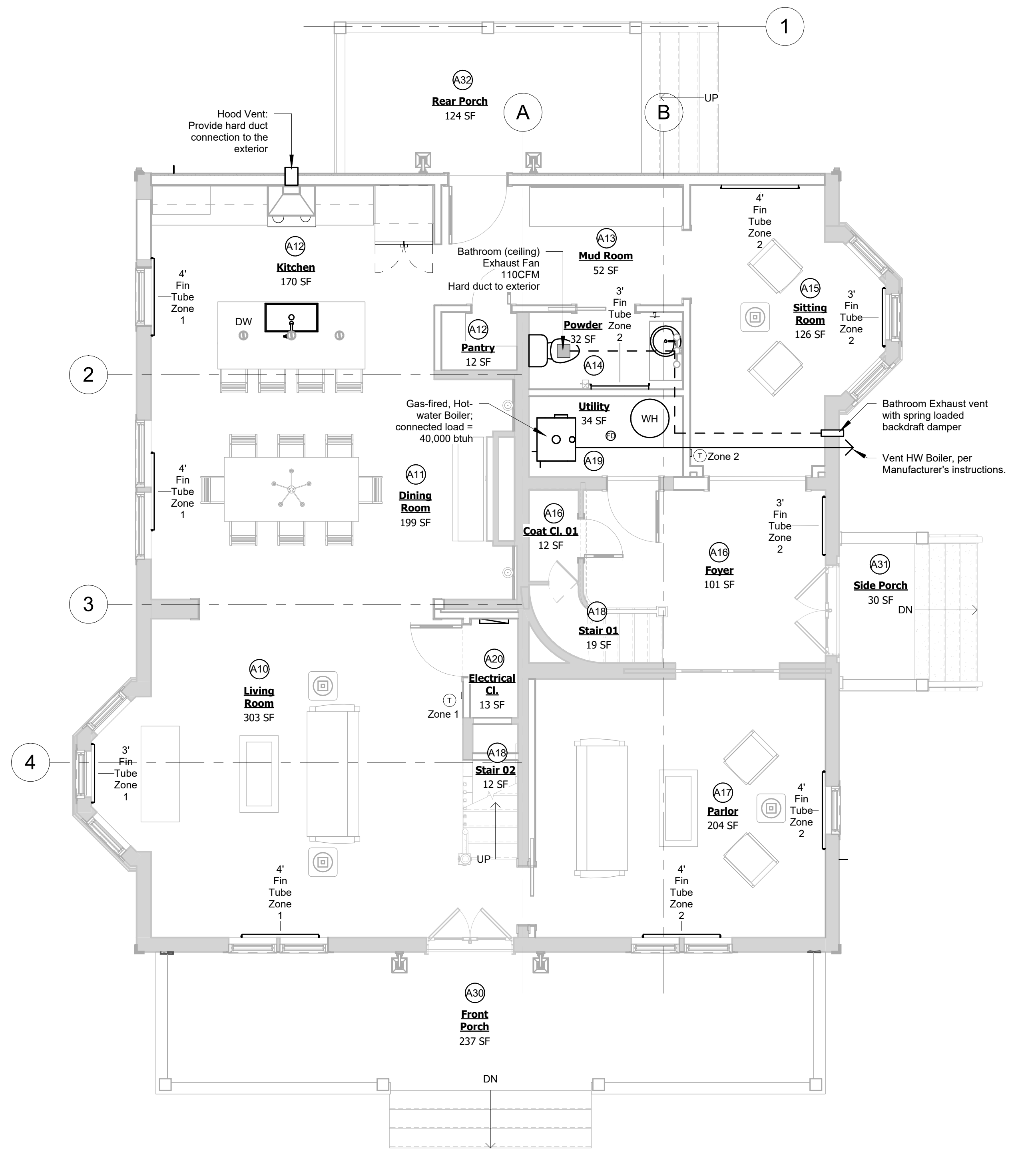
Date: 06/25/2026

Sheet Number

S100



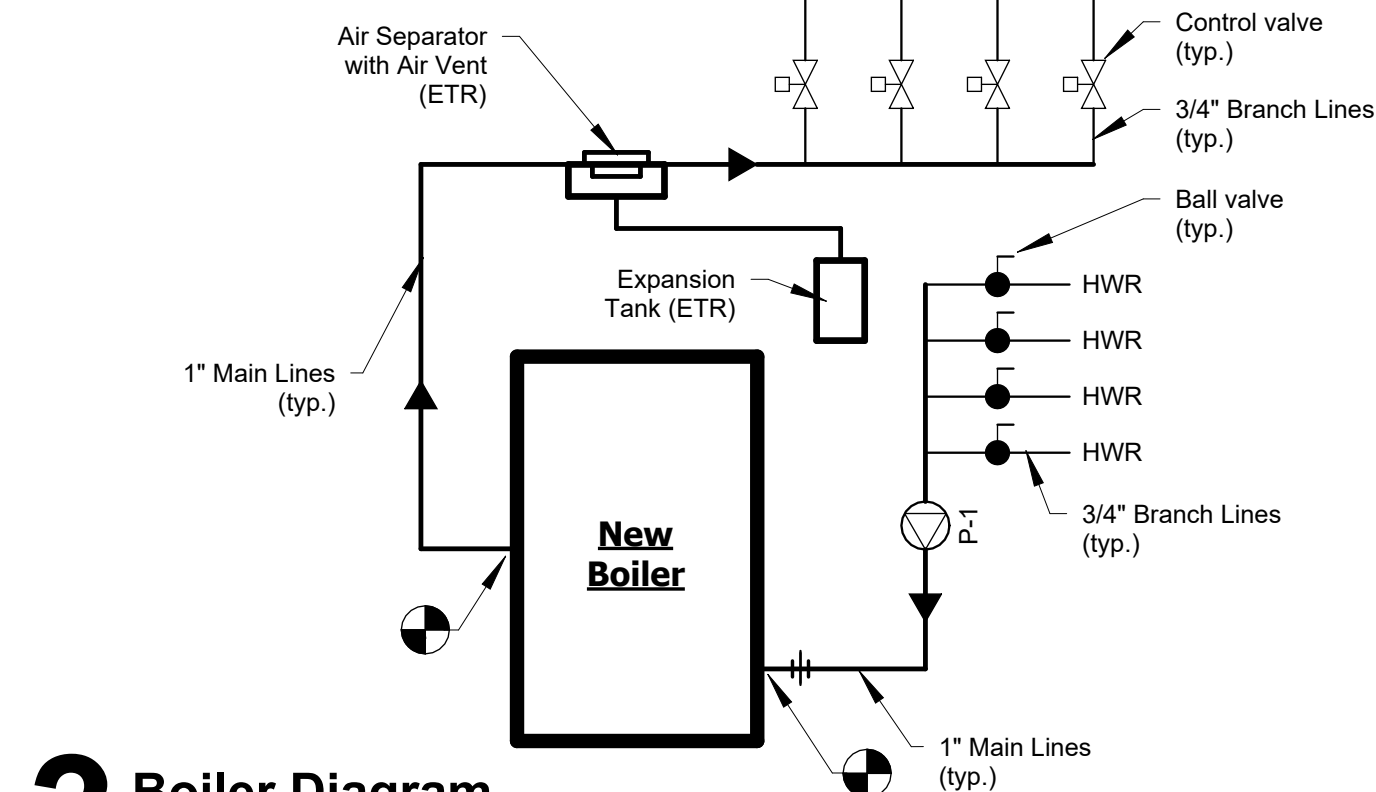
1 Basement Level Mechanical Floor Plan
1/4" = 1'-0"



2 First Level Mechanical Floor Plan
1/4" = 1'-0"



- Zone 1:**
Living Room, Dining Room, Kitchen
Zone 2:
Powder, Sitting Room, Foyer, Parlor
Zone 3:
Bedroom 01 & 02, Bathroom 01, Hall 01
Zone 4:
Bedroom 03 & 04, Bathroom 02/Laundry



3 Boiler Diagram
1/2" = 1'-0"

Mechanical General Notes

- Contractor to verify/adjust HW Boiler heating capacity, based upon Manufacturer's recommendations for the area/volume to be heated, and actual Boiler equipment provided. (60k Btu/Hr minimum, assumed)
- Contractor to verify/adjust natural gas piping sizing, based upon Manufacturer's recommendations for the actual Boiler equipment provided.
- Contractor to balance/maximize efficiency for the installation. (95% AFUE required)
- Contractor to provide a shut-off valve at supply/return piping at each fin-tube unit.
- Color of Fin Tube Covers to be "White".
- All HW Piping to receive 1" piping insulation, throughout.

General Note

- Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
- Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
A. All MEP equipment, fixtures and infrastructure to be removed in their entirety

Consultant:

Professional Seal:



Renovations + Reconstruction
Sheet Title
Mechanical Basement and First Level Floor Plans

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

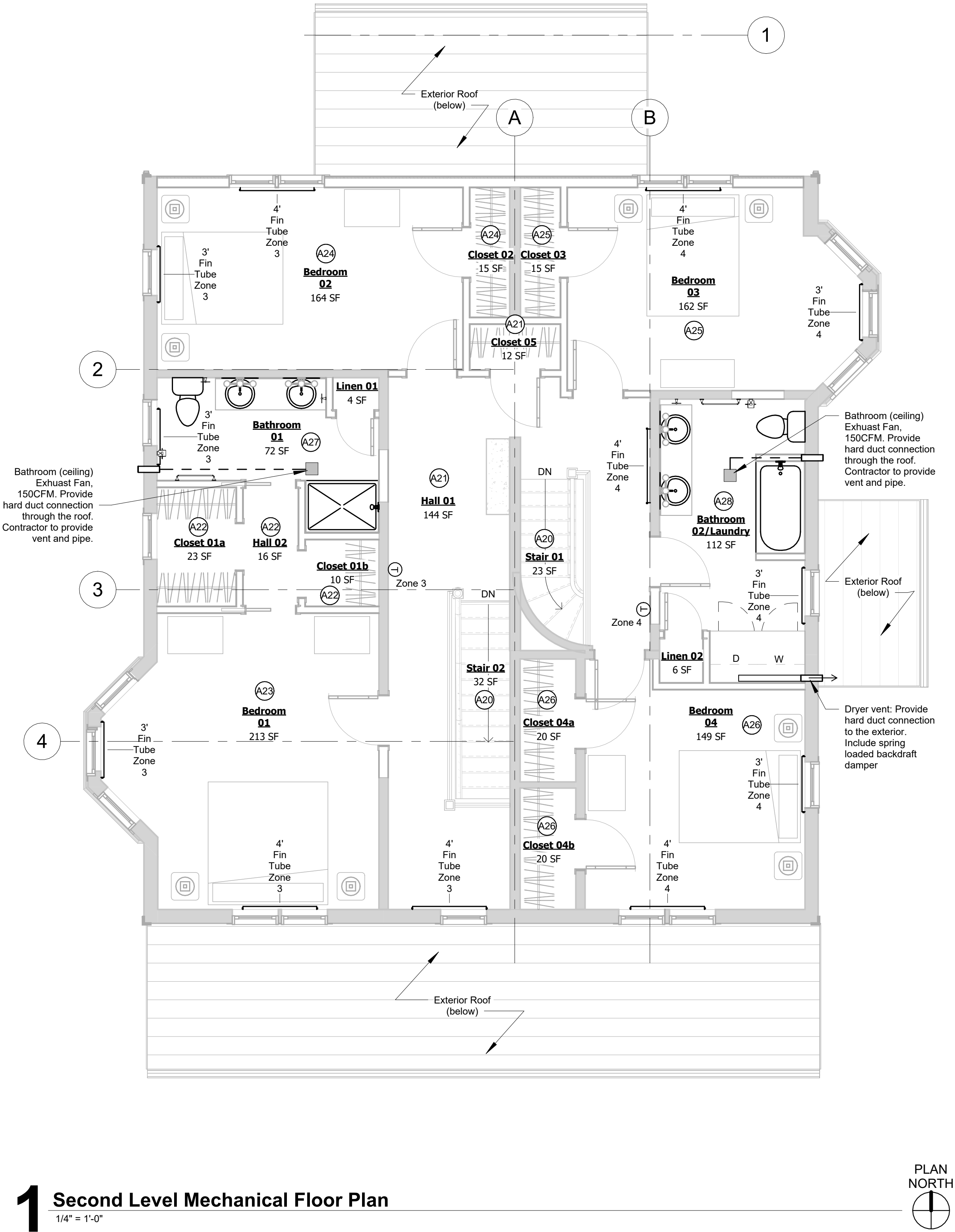
Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

M100



1 Second Level Mechanical Floor Plan
1/4" = 1'-0"

Mechanical General Notes

- Contractor to verify/adjust HW Boiler heating capacity, based upon Manufacturer's recommendations for the area/volume to be heated, and actual Boiler equipment provided. (60k Btu/Hr minimum, assumed)
- Contractor to verify/adjust natural gas piping sizing, based upon Manufacturer's recommendations for the actual Boiler equipment provided.
- Contractor to balance/maximize efficiency for the installation. (95% AFUE required)
- Contractor to provide a shut-off valve at supply/return piping at each fin-tube unit.
- Color of Fin Tube Covers to be "White".
- All HW Piping to receive 1" piping insulation, throughout.

General Note

- Refer to **A001, A002, & A003** for specific information and specs regarding each room/space.
- Refer to Drawings **A001, A002, & A003** for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
 - All MEP equipment, fixtures and infrastructure to be removed in their entirety

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction
Sheet Title
Mechanical Second Level Floor Plan

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

M101

Consultant:

Professional Seal:



Renovations + Reconstruction
Sheet Title
Electrical Basement and First Level Floor Plans
Owner: Tioga County
Project Address: 247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

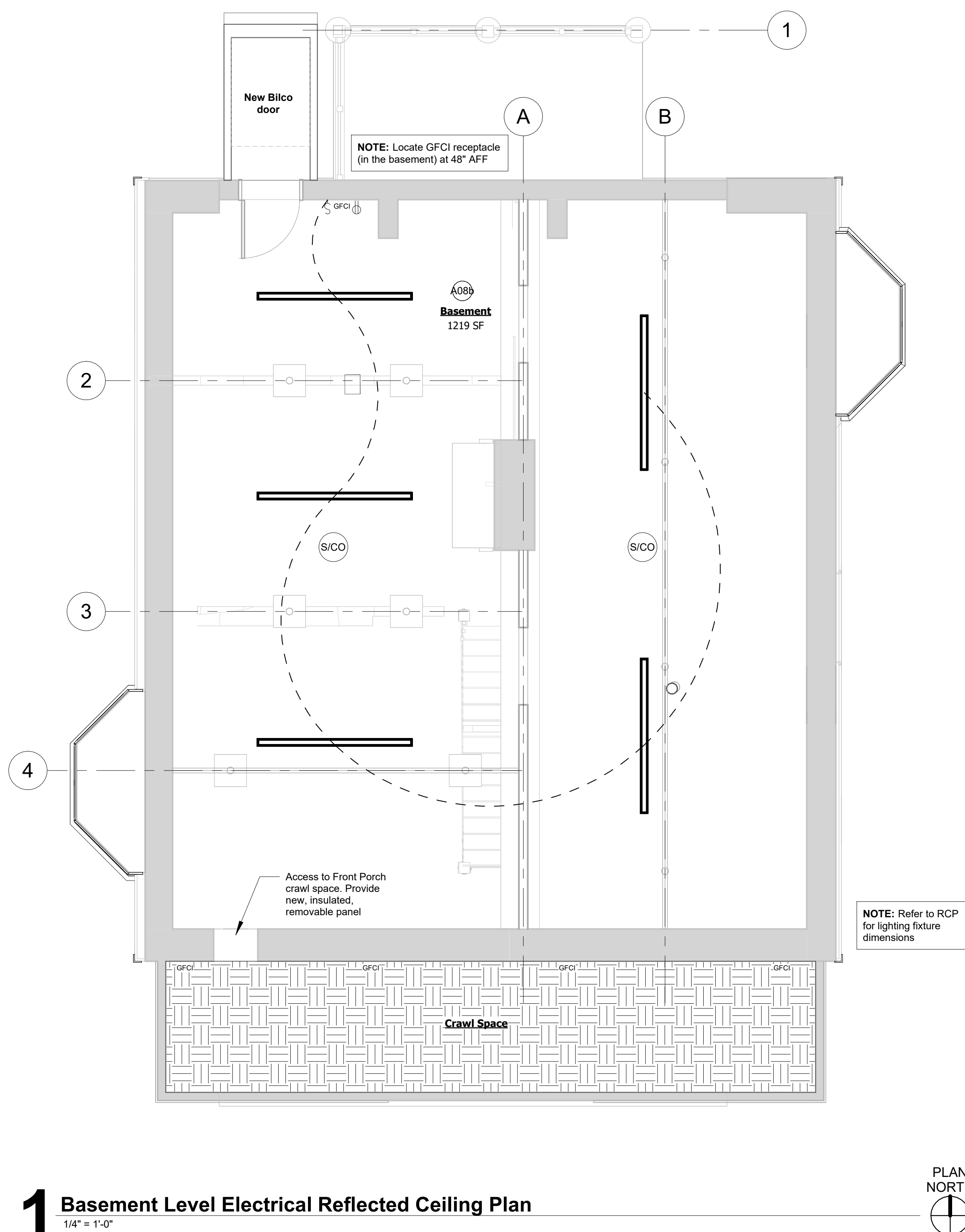
Revisions		
No.	Description	Date

Date: 06/25/2026

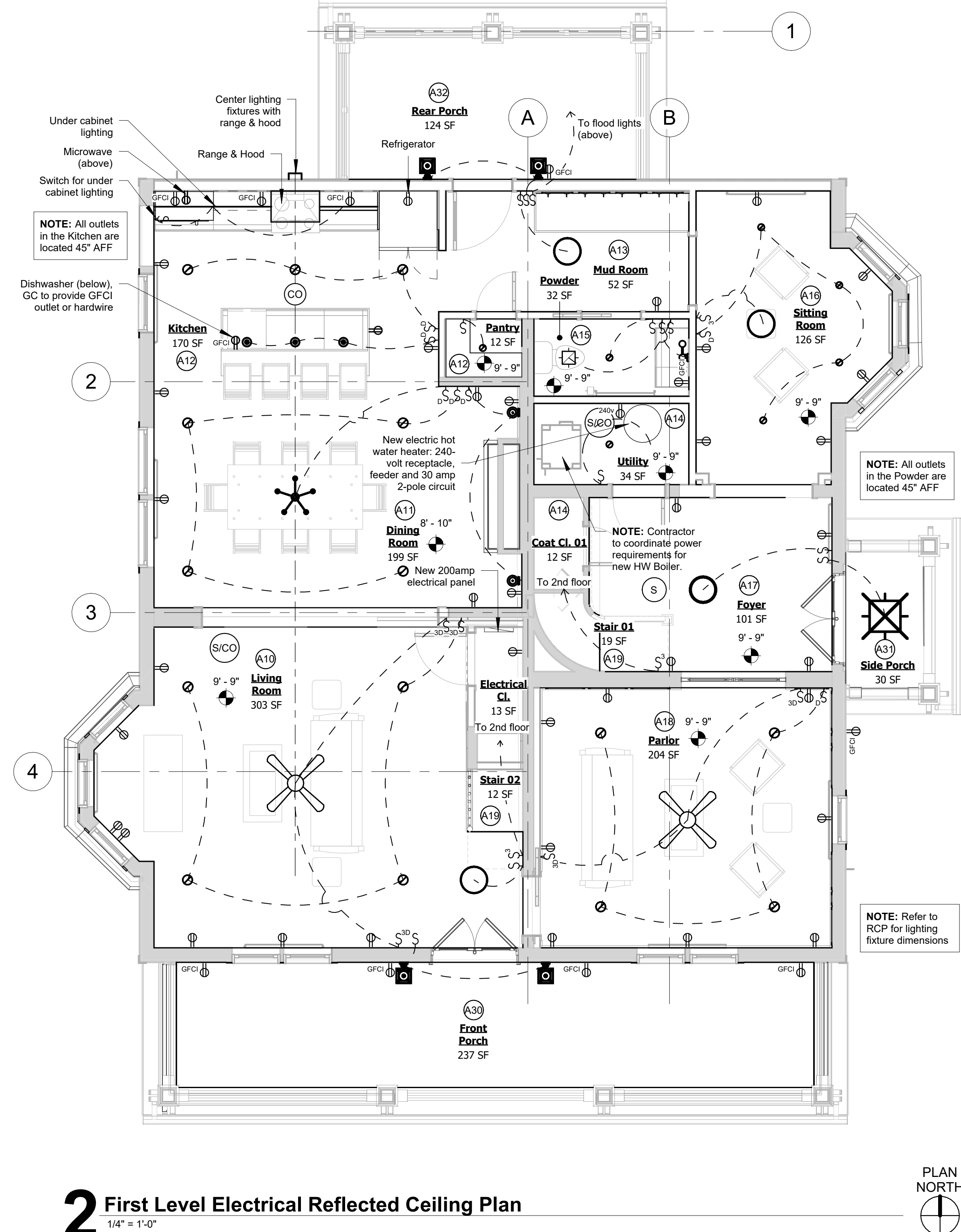
Sheet Number

E100

1 Basement Level Electrical Reflected Ceiling Plan
1/4" = 1'-0"



2 First Level Electrical Reflected Ceiling Plan
1/4" = 1'-0"



ELECTRICAL LEGEND

	SINGLE POLE SWITCH (48" AFF)		EXTERIOR WALL LIGHT SCONCE
	3-WAY SWITCH (48" AFF)		COMBINATION SMOKE AND CARBON MONOXIDE DETECTION
	OUTLET (18" AFF, 45" AFF AT COUNTER AREAS AND 48" AFF FOR FLAT SCREEN TV LOCATIONS)		SMOKE DETECTION
	240V OUTLET		CARBON MONOXIDE DETECTION
	GROUND FAULT CIRCUIT INTERRUPTER		EXHAUST FAN (NOTE: VENT BATHROOM EXHAUST FAN TO THE EXTERIOR)
	CEILING LIGHT, SEE DRAWING A003		VANITY LIGHT BAR
	DECORATIVE PENDANT LIGHT		LINEAR LED LIGHT FIXTURE
	4" LED RECESSED LIGHT		UNDER CABINET LED LIGHTING
	FLOOD LIGHT WITH MOTION SENSOR		CEILING FAN/LIGHT FIXTURE

SMOKE AND CARBON MONOXIDE DETECTION:

- All required **smoke-detecting** and **carbon monoxide** services are **interconnected** to ensure that activation of any one device will sound an alarm that is audible throughout the facility.
 - Smoke detectors are to be installed:**
 - In each bedroom
 - In each corridor adjacent to sleeping rooms
 - In corridors or adjacent open areas such as living rooms, dining rooms or recreation rooms
 - At a maximum of 30 feet on center and no more than 15 feet from a wall
 - At the head of each open stairway located within the facility or a smoke detector is installed within six feet of the bottom opening of a stairway that is enclosed at the top.
 - Ensure that smoke detectors are installed greater than three (3) feet or less of operable ceiling fans.
 - Smoke detectors in a room with a ceiling fan must be photoelectric vs. ionization type unless specifically listed for conditions of rapid air movement.
 - Carbon monoxide alarm are to be installed:**
 - On each story having a sleeping area
 - On each story where a carbon monoxide source is located
 - Exception:** One carbon monoxide alarm installed on a story of a building having both a sleeping area and a carbon monoxide source shall suffice for that story within that building.
- Note:** Carbon Monoxide Source: A carbon monoxide source includes any solid, liquid or gaseous fuel-fired appliance, equipment, device, system, fireplace, garage, motor vehicle, or motor vehicle related occupancy that may emit carbon monoxide.

Electrical Notes

- All Electrical Work shall comply with Section "E3301". The Contractor is required to submit a rough-in & final inspection reports to the local municipality code and zoning agency for final approval.
- NEC 2008 (Section 210.8 GFCI) all 120 volt single phase 15 & 20 amp receptacles shall be protected by GFCI in the following locations: bathrooms, garages, outdoors, crawl spaces, unfinished basements, kitchens, laundry, utility and wet bars and bathhouses.
- NEC 2008 (Section 210.12 AFCI) all 120 volt single phase 15 & 20 amp branch circuits supplying outlets shall be protected by AFCI in the following rooms: family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas.
- All Lighting Fixtures are to be furnish and installed by Contractor, unless otherwise noted.
- Exterior flood light fixtures to be corner-mounted type.
- Field verify all receptacle, switch, and lighting fixture locations with Owner prior to installation.

Square Footage

First Floor = 1,508 SF
Second Floor = 1,508 SF
Total Square Footage = 3,016 SF

General Note

- Refer to **A001, A002, & A003** for specific information and specs regarding each room/space.
- Refer to Drawings **A001, A002, & A003** for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
 - All MEP equipment, fixtures and infrastructure to be removed in their entirety

Consultant:

Professional Seal:



Renovations + Reconstruction
Sheet Title
Electrical Second Level Floor Plan

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

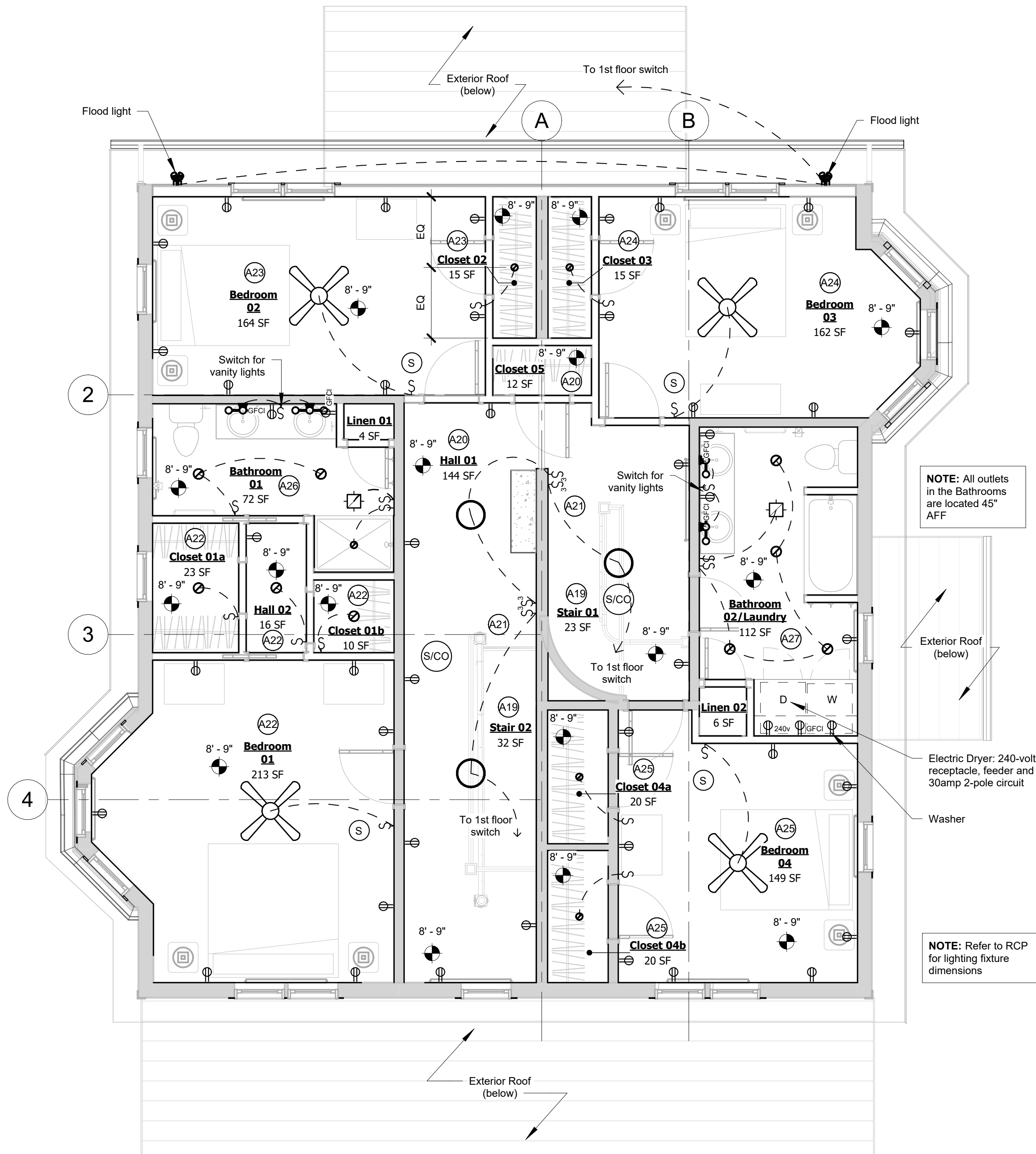
Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

E101



1 Second Level Electrical Reflected Ceiling Plan
1/4" = 1'-0"

ELECTRICAL LEGEND

⌚	SINGLE POLE SWITCH (48" AFF)	⌚	EXTERIOR WALL LIGHT SCONCE
⌚ ₃	3-WAY SWITCH (48" AFF)	⌚/CO	COMBINATION SMOKE and CARBON MONOXIDE DETECTION
⌚	OUTLET (18" AFF, 45" AFF AT COUNTER AREAS AND 48" AFF FOR FLAT SCREEN TV LOCATIONS)	⌚	SMOKE DETECTION
⌚ ₂₄₀	240V OUTLET	⌚/CO	CARBON MONOXIDE DETECTION
⌚GFCI	GROUND FAULT CIRCUIT INTERRUPTER	⌚	EXHAUST FAN (NOTE: VENT BATHROOM EXHAUST FAN TO THE EXTERIOR)
⌚	CEILING LIGHT, SEE DRAWING A003	⌚	VANITY LIGHT BAR
⌚	DECORATIVE PENDANT LIGHT	⌚	LINEAR LED LIGHT FIXTURE
⌚	4" LED RECESSED LIGHT	⌚	UNDER CABINET LED LIGHTING
⌚	FLOOD LIGHT WITH MOTION SENSOR	⌚	CEILING FAN/LIGHT FIXTURE

SMOKE AND CARBON MONOXIDE DETECTION:

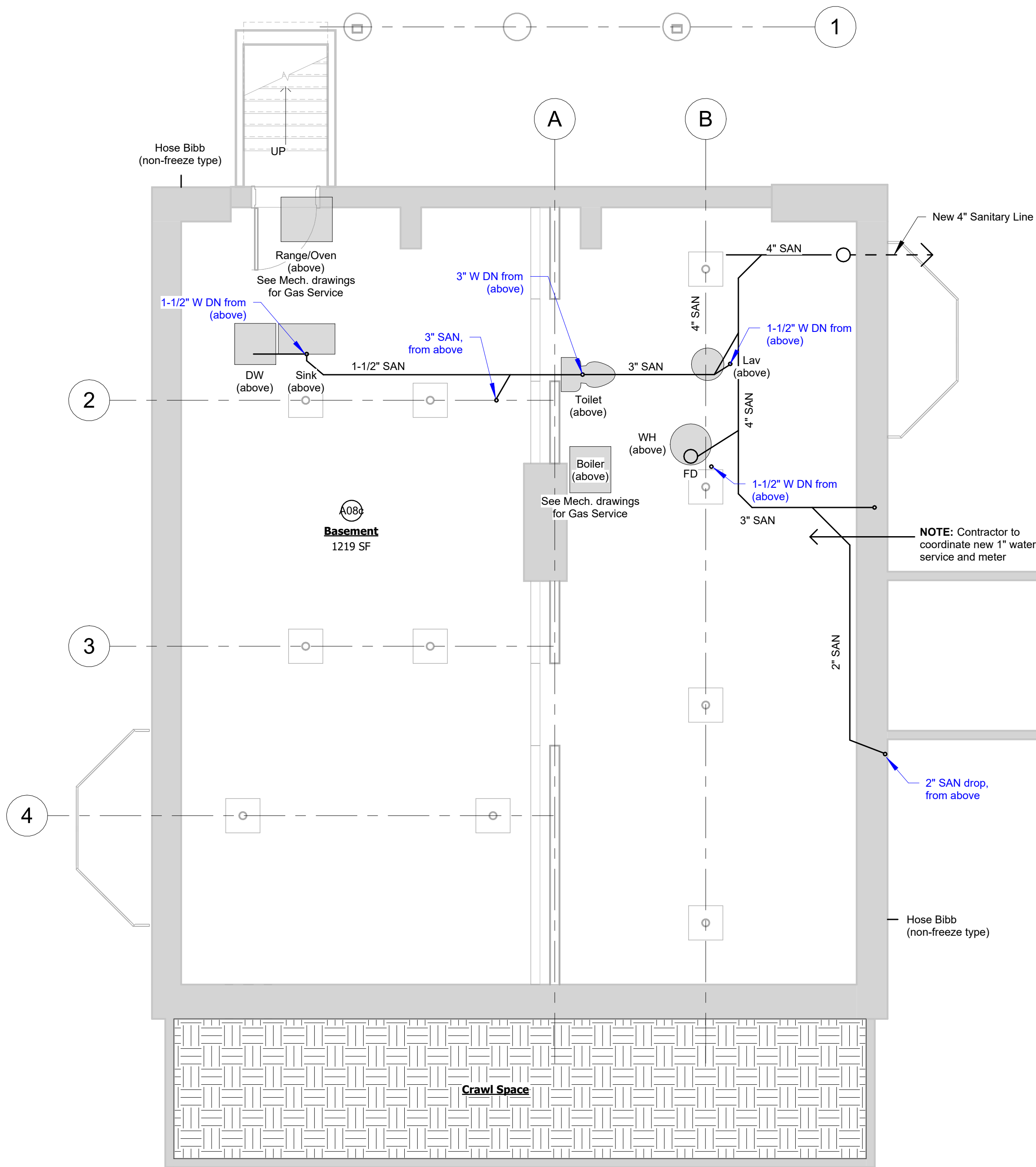
- All required smoke-detecting and carbon monoxide services are interconnected to ensure that activation of any one device will sound an alarm that is audible throughout the facility.
- Smoke detectors are to be installed:**
 - In each bedroom
 - In each corridor adjacent to sleeping rooms
 - In corridors or adjacent open areas such as living rooms, dining rooms or recreation rooms
 - At a maximum of 30 feet on center and no more than 15 feet from a wall
 - At the head of each open stairway located within the facility or a smoke detector is installed within six feet of the bottom opening of a stairway that is enclosed at the top.
 - Ensure that smoke detectors are installed greater than three (3) feet or less of operable ceiling fans.
 - Smoke detectors in a room with a ceiling fan must be photoelectric vs. ionization type unless specifically listed for conditions of rapid air movement.
- Carbon monoxide alarm are to be installed:**
 - On each story having a sleeping area
 - On each story where a carbon monoxide source is located
 - Exception:** One carbon monoxide alarm installed on a story of a building having both a sleeping area and a carbon monoxide source shall suffice for that story within that building.
- Note:** Carbon Monoxide Source: A carbon monoxide source includes any solid, liquid or gaseous fuel-fired appliance, equipment, device, system, fireplace, garage, motor vehicle, or motor vehicle related occupancy that may emit carbon monoxide.

Electrical Notes

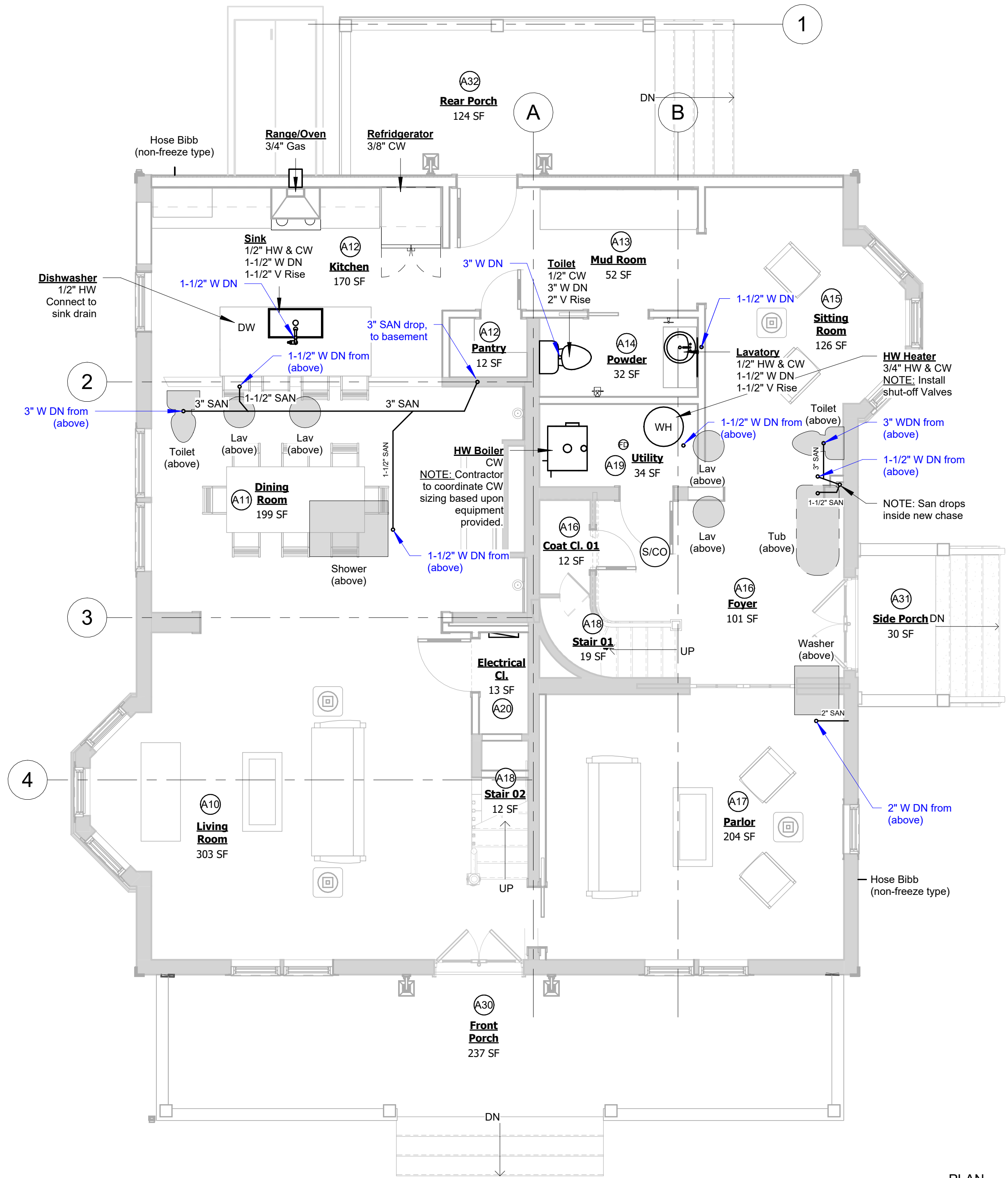
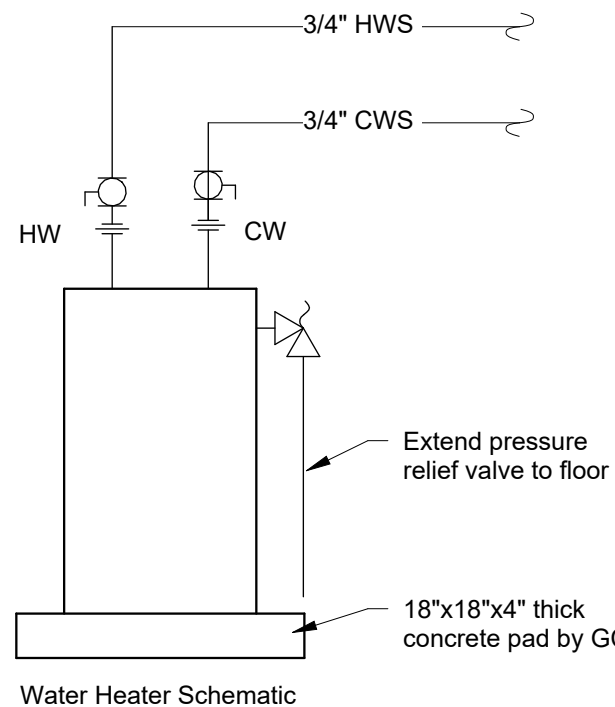
- All Electrical Work shall comply with Section "E3301". The Contractor is required to submit a rough-in & final inspection reports to the local municipality code and zoning agency for final approval.
- NEC 2008 (Section 210.8 GFCI) all 120 volt single phase 15 & 20 amp receptacles shall be protected by GFCI in the following locations: bathrooms, garages, outdoors, crawl spaces, unfinished basements, kitchens, laundry, utility and wet bars and boathouses.
- NEC2008 (Section 210.12 AFCI) all 120 volt single phase 15 & 20 amp branch circuits supplying outlets shall be protected by AFCI in the following rooms: family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas.
- All Lighting Fixtures are to be furnish and installed by Contractor, unless otherwise noted.
- Exterior flood light fixtures to be corner-mounted type.
- Field verify all receptacle, switch, and lighting fixture locations with Owner prior to installation.

General Note

- Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
- Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
 - All MEP equipment, fixtures and infrastructure to be removed in their entirety



1 Basement Level Plumbing Floor Plan
1/4" = 1'-0"



2 First Level Plumbing Floor Plan
1/4" = 1'-0"



Plumbing Specs

- Plumbing Materials:**
- All drain lines to be PVC schedule 40. All fixtures to be properly vented through the roof unless otherwise noted.
 - All domestic water lines to be 1/2" and 3/4" CPVC, Pex or copper
 - Install shutoff valves for piping serving fixtures, appliances and/or equipment.
 - Existing Main Sanitary: 4" line connected at the street (Coordinate with the local municipality)
 - Sink: 1-1/2" drain lines
 - Supplies/Trap/Tailpiece/Insulation
 - Shower/ Tub: 1-1/2" drain line
 - Water Closet (WC): 3" drain line
 - Floor mount: John-L-Ring wax ring with bolts.
 - Supply: Flexible hose supply with quarter turn valve.
 - Washer Machine: 2" drain line
 - Washer Machine Outlet Box with water hammer arrestor (HW & CW supply) and waste fitting for washing machine.
 - Design based on Oatey, Eliminator, 38642 (copper supply), 38652 (CVPC supply), 38356 (Viega PEX supply) or equivalent.

Note: Reference NYS Plumbing Code 2020. (Chapter 7, Table 709.1, Minimum size of Trap (inches))

- Hot Water Heater:**
- Install new 50-gallon electric high efficiency water heater.
 - Provide domestic water piping, electrical components, drain piping and all necessary items for complete installation and hook-up.
 - Install water heater elevated on 4" concrete block.

General Note

- Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
- Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
 - All MEP equipment, fixtures and infrastructure to be removed in their entirety

Consultant:

Professional Seal:



Renovations + Reconstruction

Sheet Title

Plumbing Basement and First Level Floor Plans

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

Revisions

No.	Description	Date

Date: 06/25/2026

Sheet Number

P100

Consultant:

NOTICE: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter this Drawing in any way. If alterations are made to this Drawing, when bearing the seal of an architect, the altering party shall affix their own professional seal to their revisions, and add the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific written description of the alteration(s) made.

Professional Seal:



Renovations + Reconstruction

Sheet Title Plumbing Second Level Floor Plan

Owner:
Tioga County
Project Address:
247 Main Street
Owego, NY 13827

Project Number: 25.024

Scale: As indicated

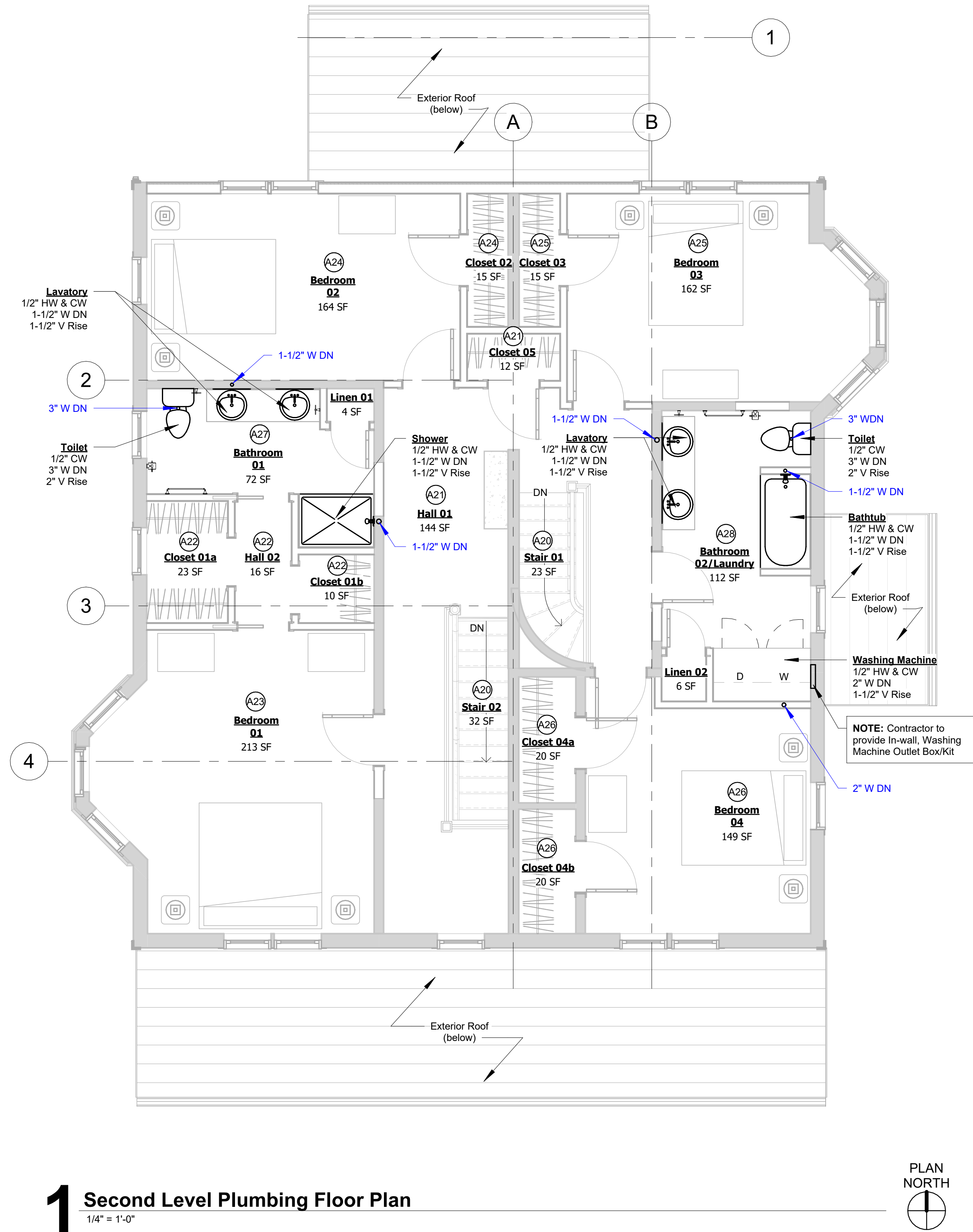
Revisions

No.	Description	Date

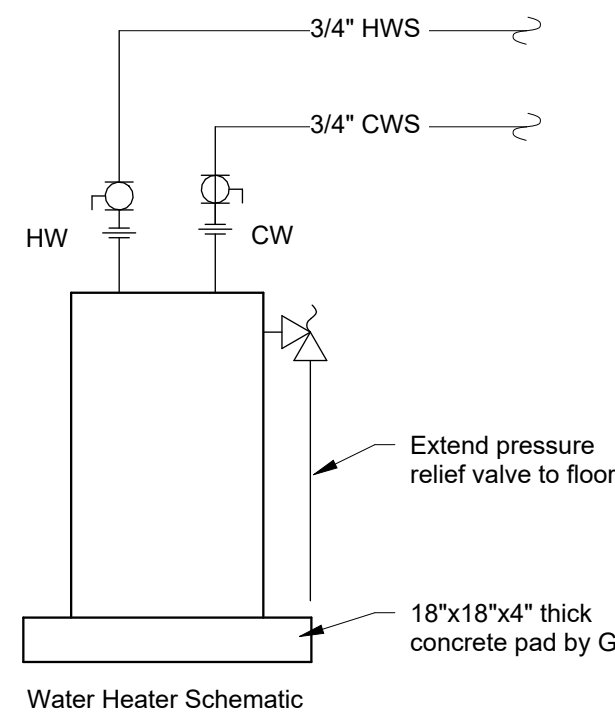
Date: 06/25/2026

Sheet Number

P101



1 Second Level Plumbing Floor Plan
1/4" = 1'-0"



Plumbing Specs

- Plumbing Materials:**
- All drain lines to be PVC schedule 40. All fixtures to be properly vented through the roof unless otherwise noted.
 - All domestic water lines to be 1/2" and 3/4" CPVC, Pex or copper
 - Install shutoff valves for piping serving fixtures, appliances and/or equipment.
 - Existing Main Sanitary: 4" line connected at the street (Coordinate with the local municipality)
 - Sink: 1-1/2" drain lines
 - Supplies/Trap/Tailpiece/Insulation
 - Shower/ Tub: 1-1/2" drain line
 - Water Closet (WC): 3" drain line
 - Floor mount: John-I-ring wax ring with bolts.
 - Supply: Flexible hose supply with quarter turn valve.
 - Washer Machine: 2" drain line
 - Washer Machine Outlet Box with water hammer arrestor (HW & CW supply) and waste fitting for washing machine.
 - Design based on Oatey, Eliminator, 38642 (copper supply), 38652 (CVPC supply), 38356 (Viega PEX supply) or equivalent.

Note: Reference NYS Plumbing Code 2020. (Chapter 7, Table 709.1, Minimum size of Trap (inches))

- Hot Water Heater:**
- Install new 50-gallon electric high efficiency water heater.
 - Provide domestic water piping, electrical components, drain piping and all necessary items for complete installation and hook-up.
 - Install water heater elevated on 4" concrete block.

General Note

- Refer to A001, A002, & A003 for specific information and specs regarding each room/space.
- Refer to Drawings A001, A002, & A003 for descriptions for each keyed note indicated on this Drawing.
- Mechanical, Electrical and Plumbing (MEP) Removals
 - All MEP equipment, fixtures and infrastructure to be removed in their entirety